

# *RED BARN PROPERTY LLC*

## *210 PORTSMOUTH AVENUE*

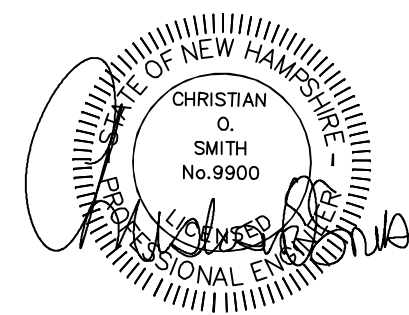
### *STRATHAM, NH*

#### *TAX MAP 21 LOT 81*

CIVIL ENGINEERS:



70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,



LAND SURVEYORS:



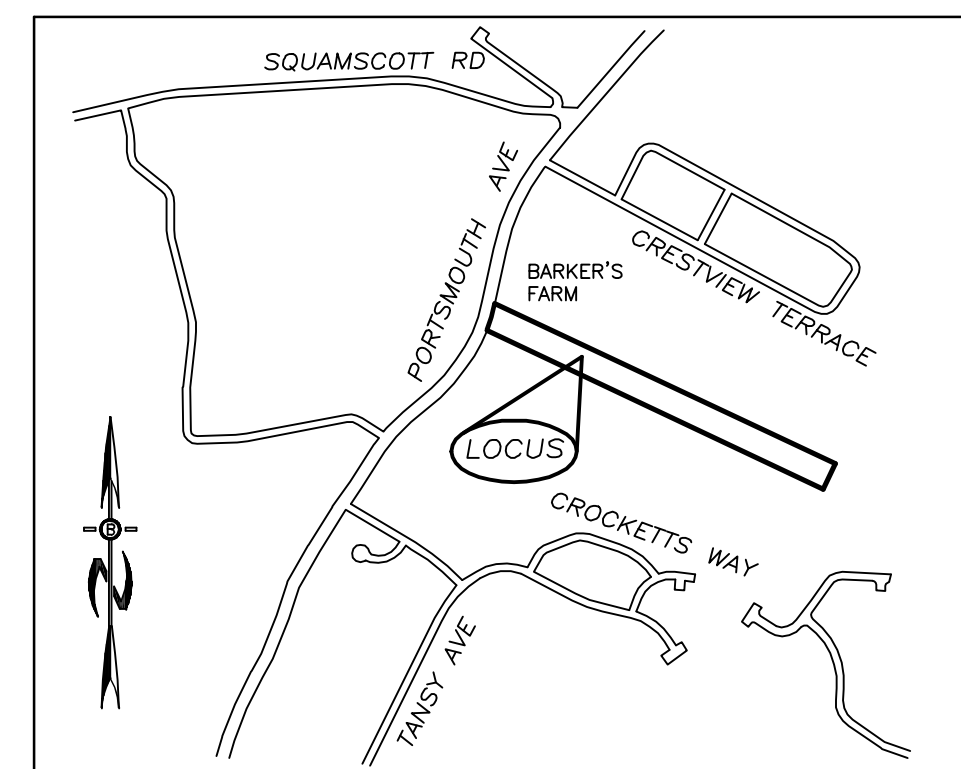
686 Central Ave, Ste 100, Dover NH 03820 (603) 953-3164 www.northamsurvey.com

WETLAND CONSULTANT:

SERGIO BONILLA, CWS #261  
MISSION WETLAND & ECOLOGICAL SERVICES  
PO BOX 4028  
PORTSMOUTH, NH 03802  
603-361-3204

SOIL CONSULTANT:

LUKE HURLEY, CSS  
HURLEY ENVIRONMENTAL AND LAND PLANNING, LLC  
PO BOX 356  
EPSOM, NH 03234  
603-583-1745



LOCATION MAP  
NTS

OWNER/APPLICANT  
RED BARN PROPERTY LLC  
BRENDAN SHEEHAN  
6 SHORE DRIVE  
GREENLAND, NH 03840  
RCRD BOOK 6543, PAGE 1271

PLAN SET LEGEND

5/8" REBAR	●	DRAINAGE LINE	—○—○—
DRILL HOLE	○	OVERHEAD ELEC. LINE	—OHE—
CONC. BOUND	□	STONE WALL	—○—○—
UTILITY POLE	⊕	TREE LINE	—○—○—
DRAIN MANHOLE	⊙	SOIL LINES	—○—○—
EXISTING LIGHT POLE	☆	WETLAND SETBACK	—○—○—
EXISTING CATCH BASIN	⊠	BUILDING SETBACK LINES	—○—○—
PROPOSED CATCH BASIN	⊠	EXIST. CONTOUR	—○—○—
PINES, ETC.	⊙	PROP. CONTOUR	—○—○—
MAPLES, ETC.	⊙	ABUT. PROPERTY LINES	—○—○—
EXIST. SPOT GRADE	96+69	EXIST. PROPERTY LINES	—○—○—
SINGLE POST SIGN	⊕	PROP. PROPERTY LINES	—○—○—
4000 SF SEPTIC RESERVE AREA	⊕	PROP. WELL W/ 75' PROTECTIVE RAD.	⊙

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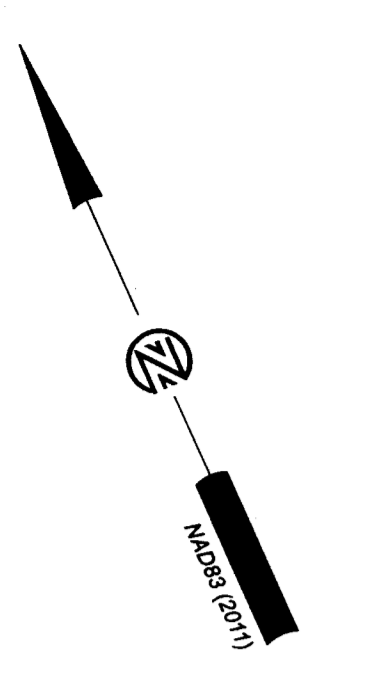
REQUIRED STATE & FEDERAL PERMITS

NHDES - INDIVIDUAL SEWAGE DISPOSAL SYSTEM	PENDING SUBMITTAL
NHDES - WETLANDS BUREAU DREDGE & FILL	PENDING SUBMITTAL
NHDOT - DRIVEWAY PERMIT	PENDING SUBMITTAL
CONSTRUCTION GENERAL PERMIT	PENDING SUBMITTAL

APPROVAL BLOCK

APPROVED TOWN OF STRATHAM PLANNING BOARD	
CHAIRPERSON	DATE

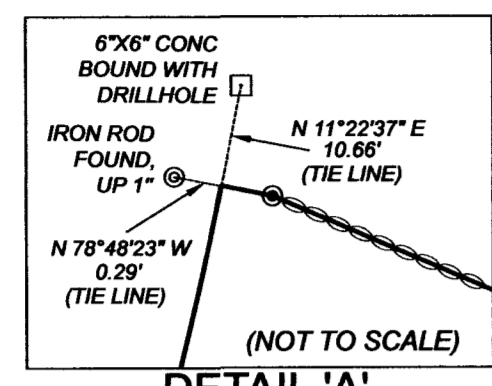
REVISIONS:	DATE:
ISSUED	MAR 11, 2026



**NOTES:**

- SUBJECT PARCEL: TAX MAP 21 LOT 81  
210 PORTSMOUTH AVE  
STRATHAM, NH  
NS PROJECT #1019
- OWNER OF RECORD: RED BARN PROPERTY LLC  
6 SHORE DRIVE  
GREENLAND, NH 03840  
R.C.R.D. BOOK 6543, PAGE 1271
- PARCEL AREA: 484,172 S.F. OR 11.12 AC
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS OF THE SUBJECT PARCEL.
- DIMENSIONAL REQUIREMENTS:**

MIN LOT AREA:	1 ACRE
MIN LOT FRONTAGE:	200'
MAX LOT FRONTAGE:	30'
MIN FRONT SETBACK:	WITHIN 10' OF AVERAGE OF EXISTING SETBACKS/ MAX 35'
MIN SIDE/REAR SETBACK:	20'
MAX BUILDING HEIGHT:	35'
MAX BUILDING FOOTPRINT:	10,000 S.F.
MAX BUILDING COVERAGE:	20%
MIN OPEN SPACE/LOT:	60%

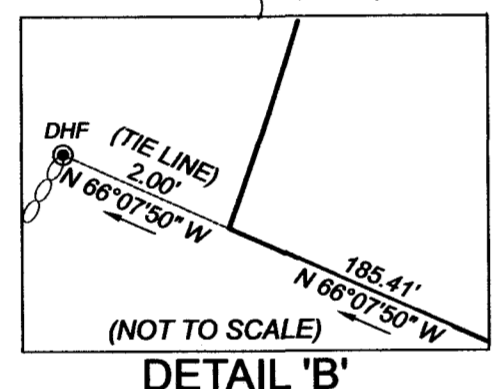
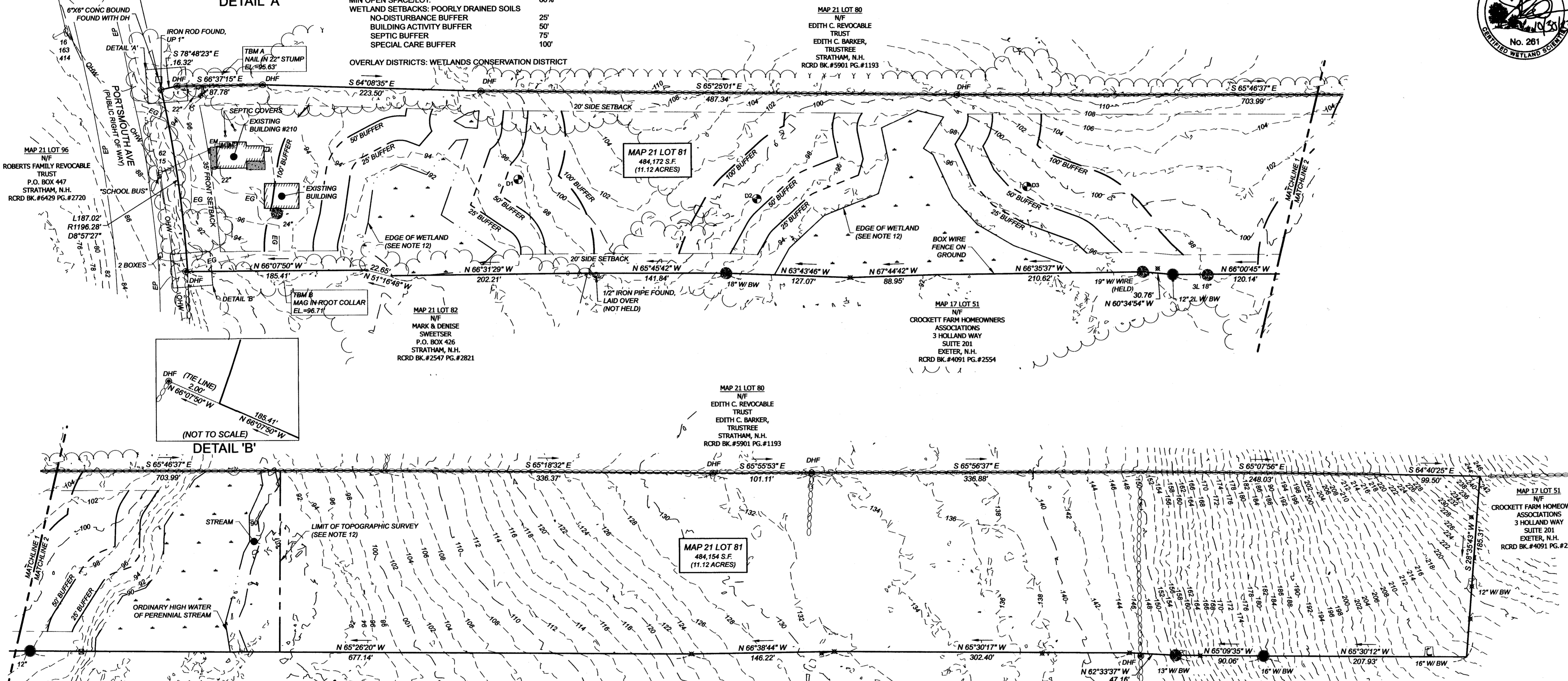
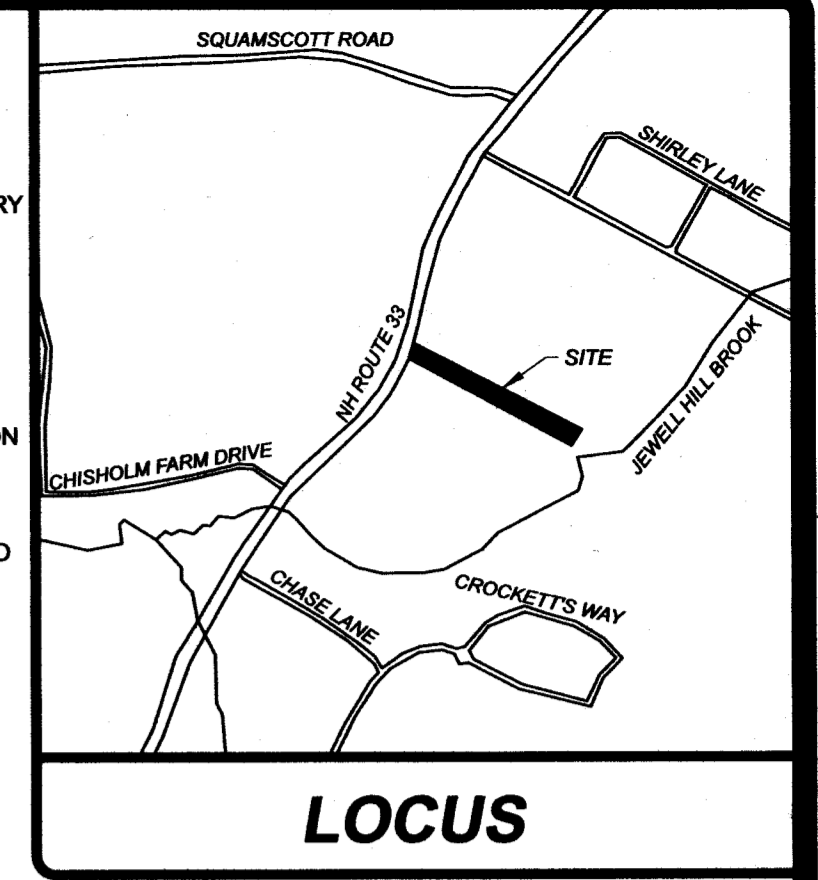


**NOTES CONTINUED:**

- ZONING INFORMATION SHOWN HEREON IS PER THE TOWN OF STRATHAM ZONING ORDINANCE DATED MARCH 1987 LAST REVISED MARCH 2025. ADDITIONAL REGULATIONS APPLY, THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE TOWN, STATE, AND FEDERAL REGULATIONS.
- FLOOD HAZARD ZONE: "X" WITH NO BASE FLOOD ELEVATION, PER FIRM MAP #33015C0245F, WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- FIELD SURVEY COMPLETED BY NORTHAM SURVEY IN JANUARY AND FEBRUARY 2025 USING A TRIMBLE S5 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR, A TRIMBLE R12 GPS RECEIVER AND A SOKKIA B31 AUTO LEVEL.
- HORIZONTAL DATUM IS NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATES PER STATIC GPS OBSERVATIONS.
- THE VERTICAL DATUM IS NAVD88 PER STATIC GPS OBSERVATIONS. THE CONTOUR INTERVAL IS 2'. CONTOUR INFORMATION SHOWN HEREON IS PER PUBLIC LIDAR DATA 2019-2020 USGS LIDAR: NH COASTAL (QL1) PROCESSED AND DOWNLOADED FROM THE NOAA OFFICE FOR COASTAL MANAGEMENT.

**NOTES CONTINUED:**

- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- WETLAND DELINEATION CONDUCTED BY SERGIO BONILLA, NEW HAMPSHIRE STATE CERTIFIED WETLAND SCIENTIST (#261) ON 11/14/2025 IN ACCORDANCE WITH THE UNITED STATES ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JANUARY 1987), AND THE REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION (VERSION 2-TR-12-1, JANUARY 2012).
- THIS SURVEY WAS CONDUCTED IN WINTER CONDITIONS. SOME SITE FEATURES MAY HAVE BEEN OBSCURED DUE TO SNOW. A SPRING TIME SITE WALK IS RECOMMENDED TO VERIFY EXISTING CONDITIONS.



**LEGEND:**

MAP 137 LOT 11	ASSESSORS MAP AND LOT NUMBER
BK. PG. CONC.	BOOK / PAGE CONCRETE
DHF	DRILL HOLE FOUND
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EG	EDGE OF GRAVEL
N/F	NOW OR FORMERLY
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
S.F.	SQUARE FEET
TBM	TEMPORARY BENCHMARK
BW	BARBED WIRE
⊙	DRILL HOLE FOUND/SET
⊙	IRON PIPE/ROD FOUND
⊙	BOUND FOUND
⊙	SPIKENAIL FOUND
⊙	BARBED WIRE ON GROUND
⊙	AIR CONDITIONER
⊙	UTILITY POLE
⊙	ELECTRIC BOX
⊙	MAILBOX
⊙	VENT PIPE
⊙	POST
⊙	STUMP
⊙	CONIFEROUS TREE
⊙	DECIDUOUS TREE
⊙	TEMPORARY BENCHMARK SIGN
⊙	OVERHEAD WIRE
⊙	BOX WIRE FENCE
⊙	BOUNDARY LINE
⊙	SETBACK LINE
⊙	EXISTING CONTOUR
⊙	STONEWALL
⊙	EDGE OF WETLAND
⊙	WETLAND SETBACK
⊙	SPECIAL CARE BUFFER
⊙	CONCRETE
⊙	WETLANDS
⊙	BRICK
⊙	WOODEN DECK
⊙	TEST PITS

**EXISTING CONDITIONS FOR RED BARN PROPERTY LLC OF TAX MAP 21 LOT 81 210 PORTSMOUTH AVE STRATHAM, NH COUNTY OF ROCKINGHAM**

SCALE: 1"=60' (22x34) 1"=120' (11x17)

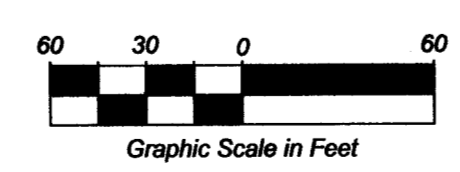
**PLAN REFERENCES:**

- "SUBDIVISION OF LAND FOR WENDELL E. SWEETSER IN STRATHAM, N.H.", PREPARED BY PARKER SURVEY ASSOC., INC. DATED MARCH, 1985. RECORDED IN THE R.C.R.D. AS PLAN D-13677.
- "SUBDIVISION MASTER PLAN JEWETT HILL STRATHAM, NH", PREPARED BY ON-SITE DESIGN & ENGINEERING. DATED APRIL 7, 1987. LAST REVISED JUNE 17, 1987. RECORDED IN THE R.C.R.D. AS PLAN D-17840.
- "SUBDIVISION PLAT BARKER'S FARM PROPERTY OF CARL WARREN & GRACE BARKER ROUTE 101, STRATHAM, N.H.", PREPARED BY JOHN C. KELLER, LLS. DATED NOVEMBER 1992. RECORDED IN THE R.C.R.D. AS PLAN D-22025.
- "PLAN OF LAND FOR WENDELL E. SWEETSER PORTSMOUTH AVENUE STRATHAM, NH", PREPARED BY O'NEIL SURVEY AND ASSOCIATES. DATED JULY 25, 1999. RECORDED IN THE R.C.R.D AS PLAN D-27363.
- "LOT CONSOLIDATION PLANS THE HILLS AT CROCKETT FARM", PREPARED BY CAMMETT ENGINEERING. DATED JANUARY 03, 2003. RECORDED IN THE R.C.R.D AS PLAN D-30627.
- "SUBDIVISION PLANS THE HILLS AT CROCKETT FARM", PREPARED BY CAMMETT ENGINEERING. DATED SEPTEMBER 20, 2002, LAST REVISED APRIL 14, 2003. RECORDED IN THE R.C.R.D AS PLAN D-30685.

PURSUANT TO NEW HAMPSHIRE RSA 678:18 III

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE. RANDOM TRAVERSE SURVEY BY TOTAL STATION WITH A PRECISION GREATER THAN 1:15,000.

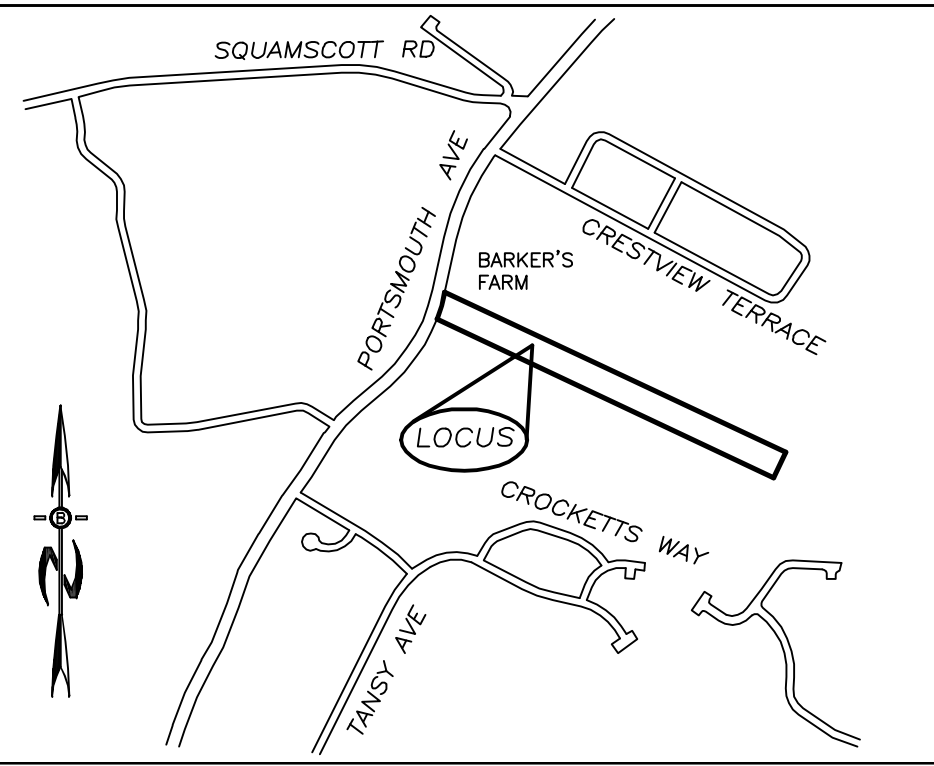


OCTOBER 30, 2025 DATE



JOB NO.	1019	DATE:	2025-04-25
DRAWN BY:	EEC JIR TJD TJR	DRAWING:	1019 SURVEY.DWG
CHECKED BY:	EJS	SHEET:	1 OF 1

1	2025/10/30	UPDATED ZONING INFORMATION	TJR
NO.	DATE	DESCRIPTION	BY

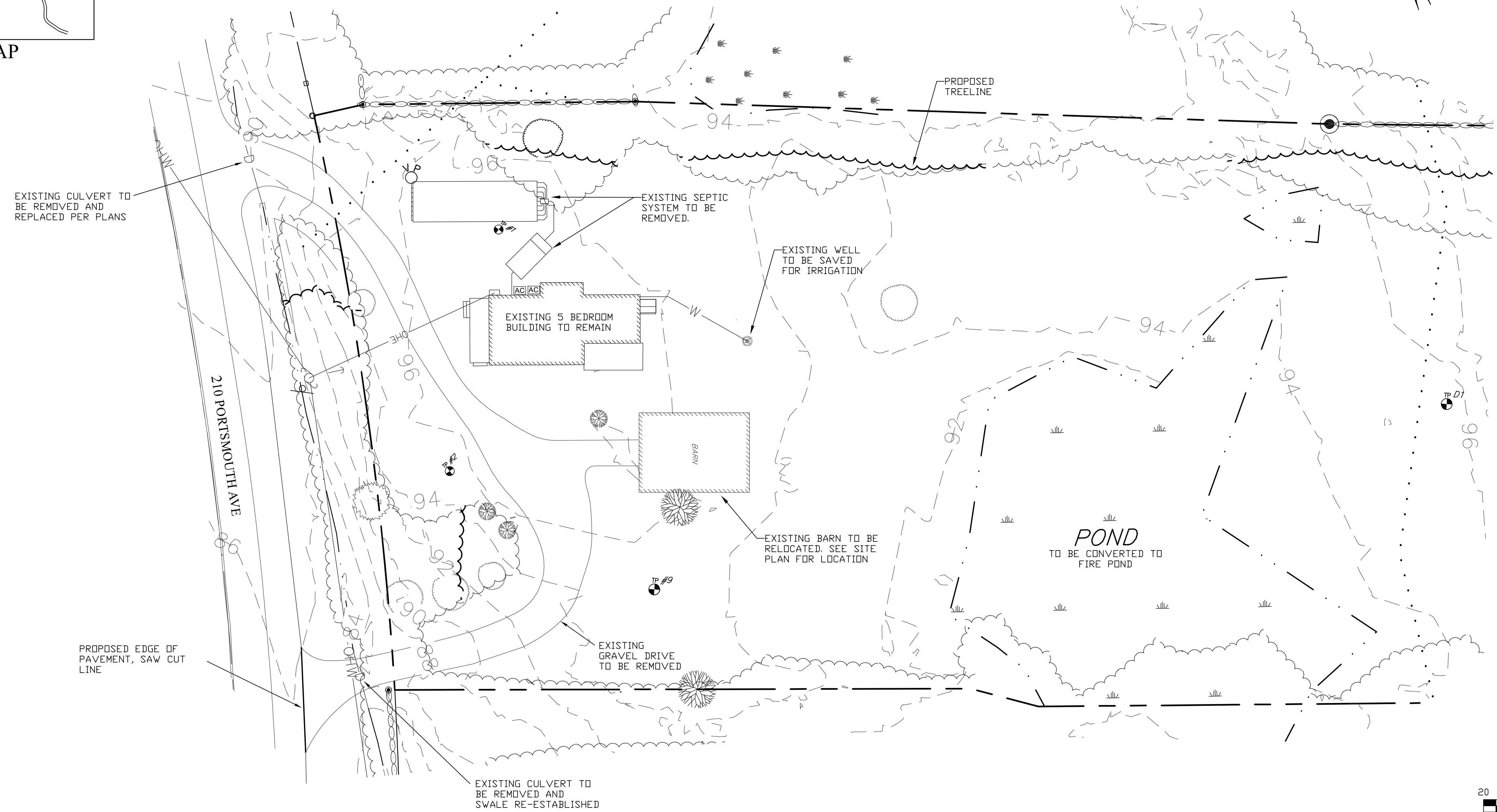
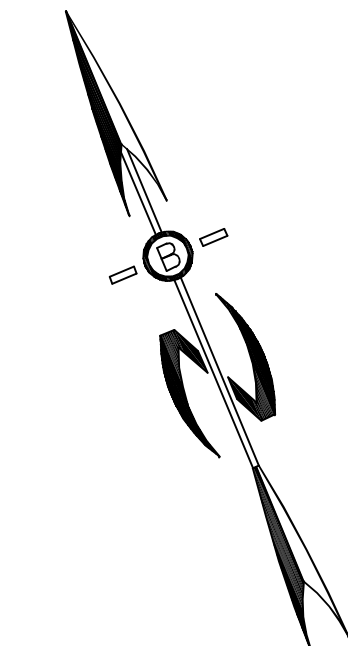


LOCATION MAP  
NTS

PREPARED FOR:  
**RED BARN PROPERTY LLC**  
6 SHORE DRIVE  
GREENLAND, NH 03840

**BA**  
**BEALS**  
ASSOCIATES, PLLC

70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860



EXISTING CULVERT TO BE REMOVED AND REPLACED PER PLANS

EXISTING SEPTIC SYSTEM TO BE REMOVED.

EXISTING WELL TO BE SAVED FOR IRRIGATION

EXISTING 5 BEDROOM BUILDING TO REMAIN

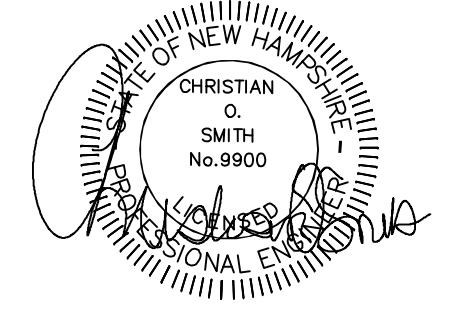
EXISTING BARN TO BE RELOCATED. SEE SITE PLAN FOR LOCATION

POND TO BE CONVERTED TO FIRE POND

EXISTING GRAVEL DRIVE TO BE REMOVED

PROPOSED EDGE OF PAVEMENT, SAW CUT LINE

EXISTING CULVERT TO BE REMOVED AND SWALE RE-ESTABLISHED



**DEMOLITION NOTES**

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
2. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
3. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
4. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
5. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
6. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
10. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
11. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
12. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
13. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.



UNDERGROUND FACILITIES, UTILITIES.  
1-888-DIG-SAFE (1-888-344-7233).

REVISIONS:		DATE:
<b>DEMOLITION PLAN</b>		
PLAN FOR: RESIDENTIAL DEVELOPMENT 210 PORTSMOUTH AVE STRATHAM, NH		
DATE:	MAR 11, 2026	SCALE: 1"=20'
PROJ. NO:	NH-1566	SHEET NO. 2

**ZONING REQUIREMENTS**

ZONE: ROUTE 33 LEGACY HIGHWAY HERITAGE DISTRICT  
 FRONT YARD SETBACK: 35 FEET  
 SIDE YARD SETBACK: 20 FEET  
 REAR YARD SETBACK: 20 FEET  
 BUILDING HEIGHT: 35 FEET  
 WETLAND BUFFER: 0-25 FEET NO DISTURBANCE  
 25-75 FEET WETLAND SETBACK  
 75 FEET SEPTIC

**NOTES:**

- SUBJECT PARCEL: TAX MAP 21 LOT 81  
210 PORTSMOUTH AVE  
STRATHAM, NH
- OWNER OF RECORD: RED BARN PROPERTY LLC  
6 SHORE DRIVE  
GREENLAND, NH 03840  
R.C.R.D. BOOK 6543, PAGE 1271
- PARCEL AREA: 484,172 S.F. OR 11.12 AC
- ZONE: ROUTE 33 LEGACY HIGHWAY HERITAGE  
OVERLAY DISTRICTS: WETLANDS CONSERVATION DISTRICT
- WETLAND DELINEATION CONDUCTED BY SERGIO BONILLA, NEW HAMPSHIRE STATE CERTIFIED WETLAND SCIENTIST (#261) ON 1/14/2025 IN ACCORDANCE WITH THE UNITED STATES ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JANUARY 1987), AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION (VERSION 2-TR-12-1, JANUARY 2012).

**SUMMARY OF PROPOSED RESIDENTIAL DUPLEXES**

EACH PROPOSED DUPLEX IS 2-STORIES WITH SIDE-BY-SIDE UNITS.  
 EXISTING DUPLEX: 1 3BR & 1 2BR UNIT  
 PROPOSED DUPLEX #1: 1 1BR & 1 2BR UNIT  
 PROPOSED DUPLEX #2: 2 2BR UNITS  
 PROPOSED DUPLEX #3: 2 2BR UNITS  
 PROPOSED DUPLEX #4: 2 2BR UNITS

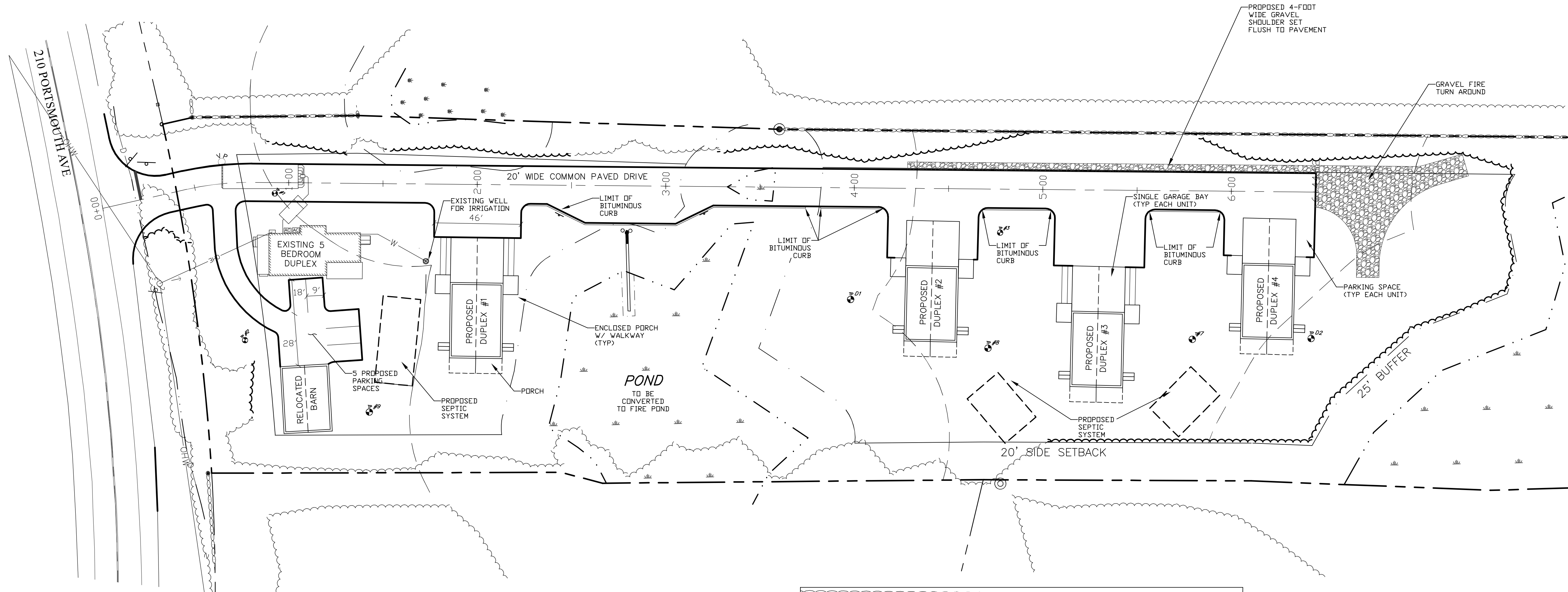
THE PURPOSE OF THE PROJECT IS TO CONSTRUCT 4 NEW DUPLEXES IN A CONDOMINIUM OWNERSHIP.

PREPARED FOR:

RED BARN PROPERTY LLC  
6 SHORE DRIVE  
GREENLAND, NH 03840

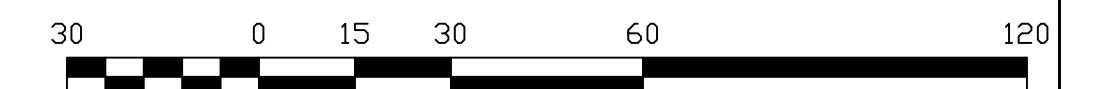
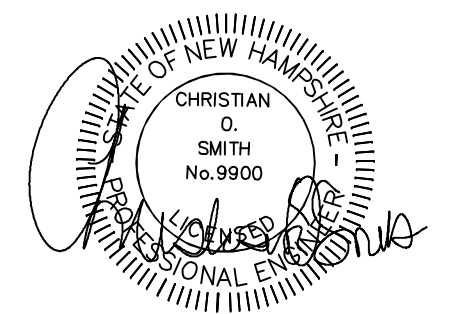
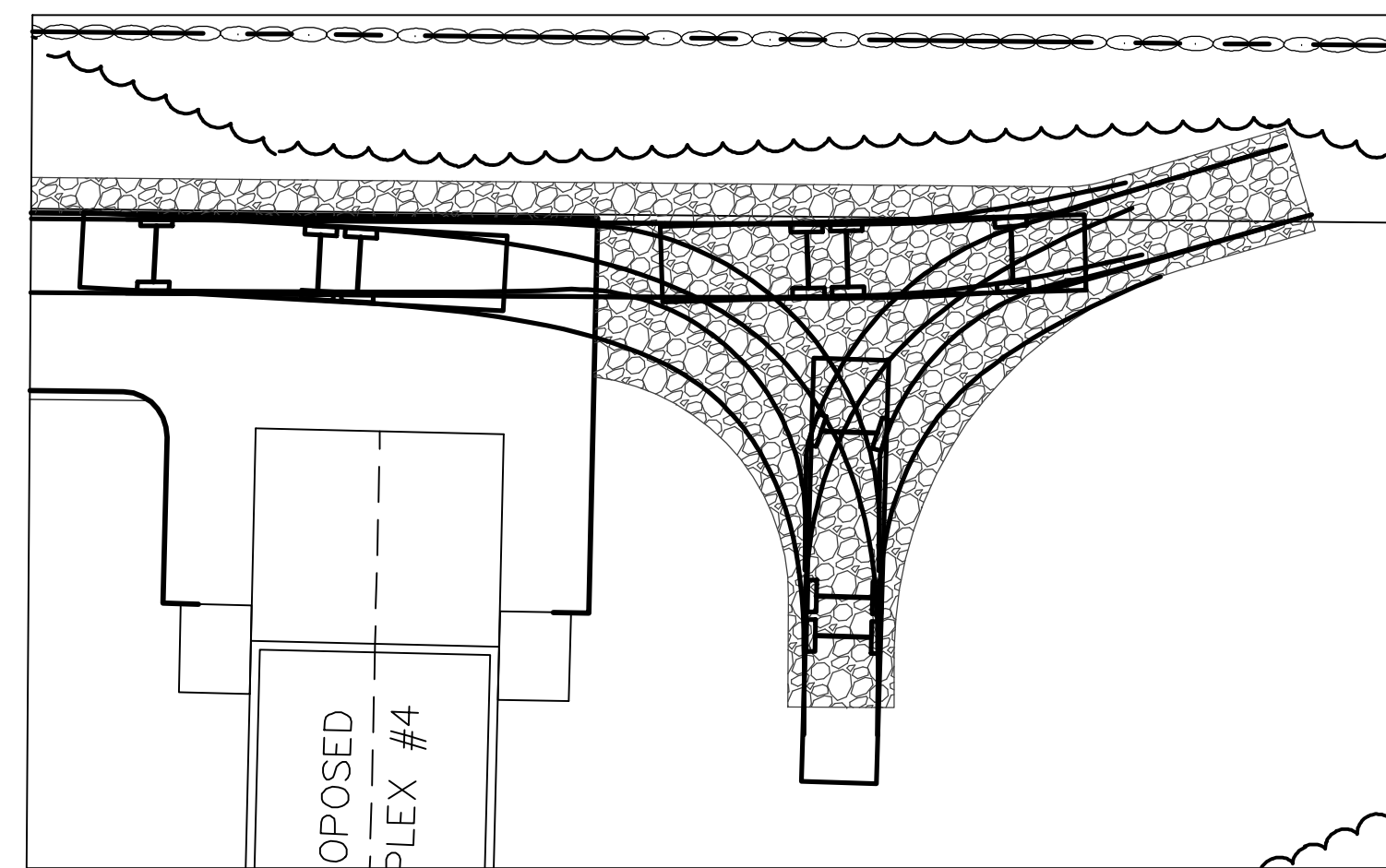


70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,



**SITE NOTES**

- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE TOWN OF STRATHAM.
- ALL WORK SHALL CONFORM TO THE TOWN OF STRATHAM DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.



REVISIONS:		DATE:	
<b>SUBDIVISION PLAN</b>			
PLAN FOR: RESIDENTIAL DEVELOPMENT 210 PORTSMOUTH AVE STRATHAM, NH			
DATE:	MAR 11, 2026	SCALE:	1"=30'
PROJ. NO:	NH-1566	SHEET NO.	3

**GRADING AND DRAINAGE NOTES**

1. COMPACTION REQUIREMENTS:  
 BELOW PAVED OR CONCRETE AREAS 95%  
 TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%  
 BELOW LOAM AND SEED AREAS 90%  
 \* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
4. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
5. ALL WORK SHALL CONFORM TO THE TOWN OF STRATHAM DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
6. APPROXIMATE DISTURBANCE = 85,000 SF.

**EROSION CONTROL NOTES**

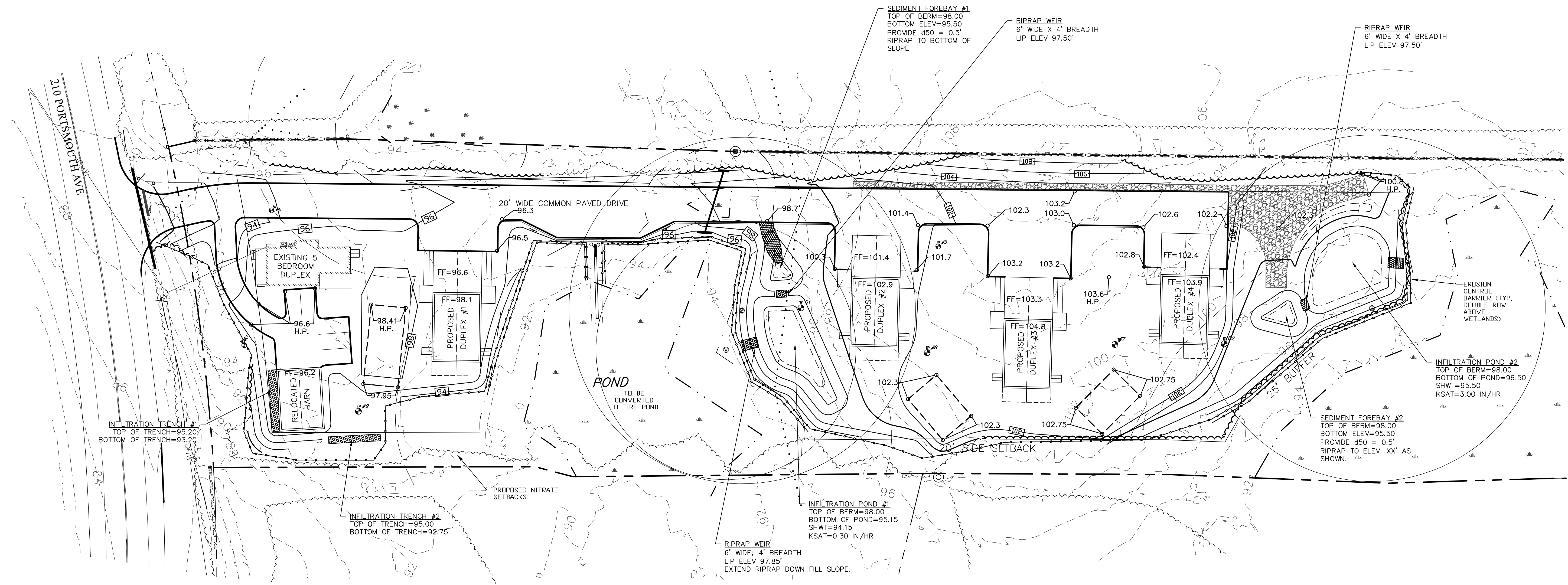
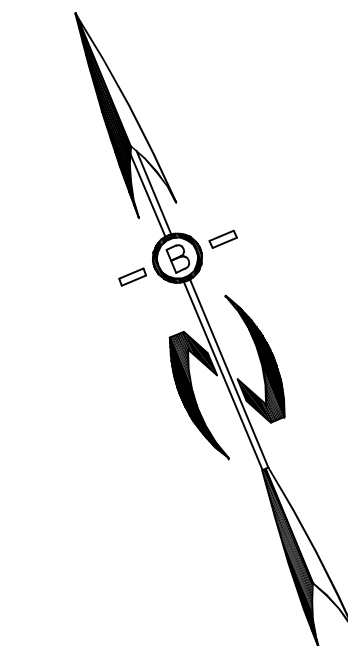
1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
3. INSTALL STABILIZED CONSTRUCTION EXIT.
4. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
5. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
6. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
8. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
9. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.
10. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

PREPARED FOR:

RED BARN PROPERTY LLC  
 6 SHORE DRIVE  
 GREENLAND, NH 03840



70 PORTSMOUTH AVE,  
 THIRD FLOOR, SUITE 2  
 STRATHAM, N.H. 03885  
 PHONE: 603-583-4860,



**SOIL NOTES**

THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED 11/24/25, AND WAS PREPARED BY LUKE HURLEY, CSS # 095, HURLEY ENVIRONMENTAL AND LAND PLANNING, LLC.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE #10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOILS COMPONENTS OF THE COMPLEX.

HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

SSSM SYMBOL	SSS MAP NAME	HISS SYMBOL	HYDROLOGIC SOIL GROUP
313	DEERFIELD	311	B
448	SCITUATE	323	C
546	WALPOLE	521	C
115	SCARBORO	621	D

SLOPE PHASE:  
 0-8% B 8-15% C 15-25% D 25%+ E



UNDERGROUND FACILITIES, UTILITIES.  
 1-888-DIG-SAFE (1-888-344-7233).

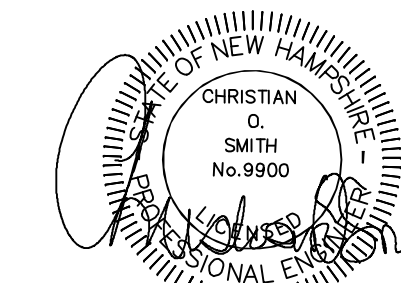


REVISIONS:	DATE:

**GRADING, DRAINAGE, & EROSION CONTROL PLAN**

PLAN FOR:  
 RESIDENTIAL DEVELOPMENT  
 210 PORTSMOUTH AVE  
 STRATHAM, NH

DATE:	MAR 11, 2026	SCALE:	1"=30'
PROJ. NO:	NH-1566	SHEET NO.	4



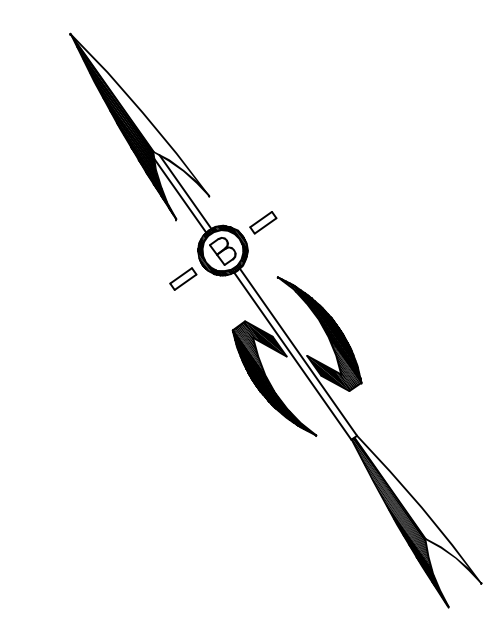
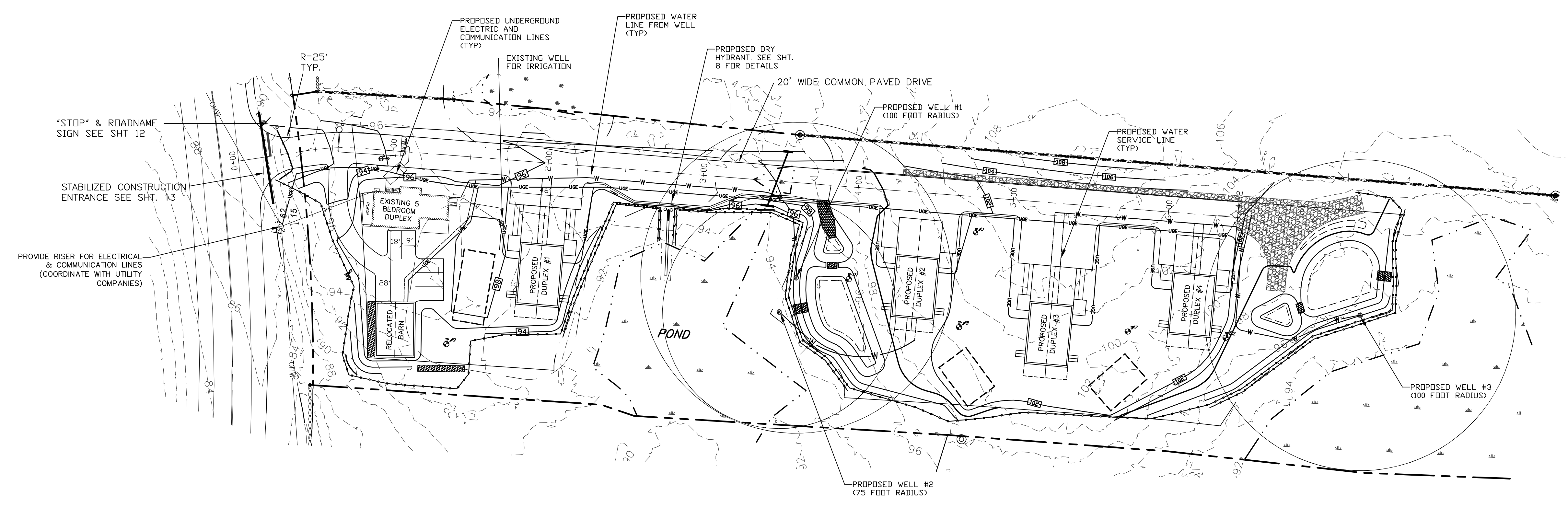




PREPARED FOR:  
**RED BARN PROPERTY LLC**  
 6 SHORE DRIVE  
 GREENLAND, NH 03840



70 PORTSMOUTH AVE,  
 THIRD FLOOR, SUITE 2  
 STRATHAM, N.H. 03885  
 PHONE: 603-583-4860



**SEPTIC & WELL CALCULATIONS**

**REQUIRED FLOW:**  
 300 GPD FOR EACH 2BR UNIT + 150 GPD FOR EACH ADDITION BR  
 225 GPD FOR EACH 1 BR UNIT

EXISTING 5 BR DUPLEX = 300 + 450 = 750 GPD  
 PROPOSED 2-2 BR DUPLEX = 300 + 300 = 600 GPD  
 PROPOSED 1-1 BR & 1-2 BR DUPLEX = 225 + 300 = 525 GPD

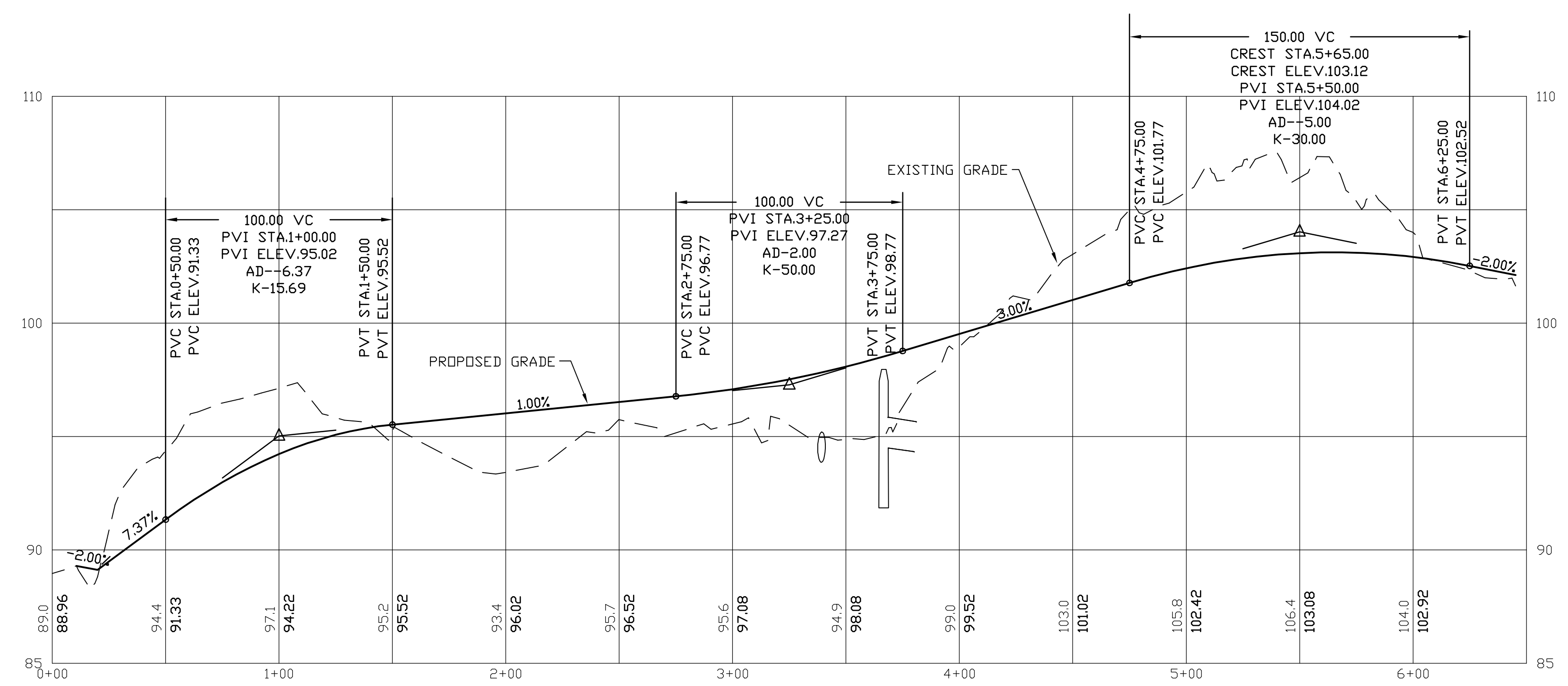
**FRONT AREA:**  
 - EXISTING 5BR DUPLEX: 5 PEOPLE & 750 GPD  
 - PROPOSED 3BR DUPLEX #1: 3.5 PEOPLE & 525 GPD  
 - BARN: 0 PEOPLE & 0 GPD  
 - TOTAL: 8.5 PEOPLE & 1,275 GPD

**BACK AREA:**  
 - PROPOSED 4BR DUPLEX #2: 5 PEOPLE & 600 GPD  
 - PROPOSED 4BR DUPLEX #3: 5 PEOPLE & 600 GPD  
 - PROPOSED 4BR DUPLEX #4: 5 PEOPLE & 600 GPD  
 - TOTAL: 15 PEOPLE & 1,800 GPD

**SUMMARY TOTAL** 23.5 PEOPLE & 3,075 GPD

EXISTING DUPLEX (5BR) & PROPOSED DUPLEX #1 (3BR) PROPOSED WELL #1 = 1,275 GPD  
 PROPOSED DUPLEX #2 (4BR) PROPOSED WELL #2 = 600 GPD  
 PROPOSED DUPLEX #3 & #4 (8BR) PROPOSED WELL #3 = 1,200 GPD

**WELL RADII:**  
 0- 750 GPD 75'  
 751-1,440 GPD 100'

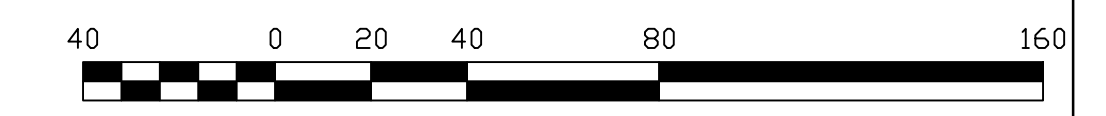


**UTILITY NOTES**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
3. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
4. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE TOWN OF STRATHAM AND NHDOT.
5. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
6. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
7. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
8. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
9. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
10. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK WITH POWER COMPANY.

**PROFILE SCALES:**

HORIZONTAL: 1"=40' VERTICAL: 1"=4'

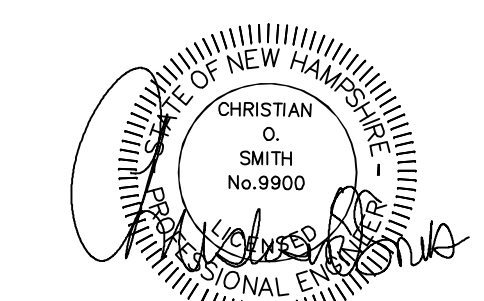


REVISIONS:	DATE:

**DRIVEWAY PLAN AND PROFILE WITH UTILITIES**

PLAN FOR:  
**RESIDENTIAL DEVELOPMENT**  
 210 PORTSMOUTH AVE  
 STRATHAM, NH

DATE:	MARCH, 2026	SCALE:	1"=40'
PROJ. NO:	NH-1566	SHEET NO.	7

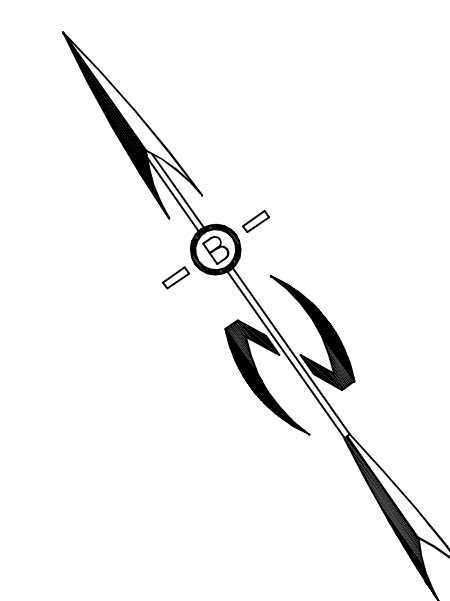
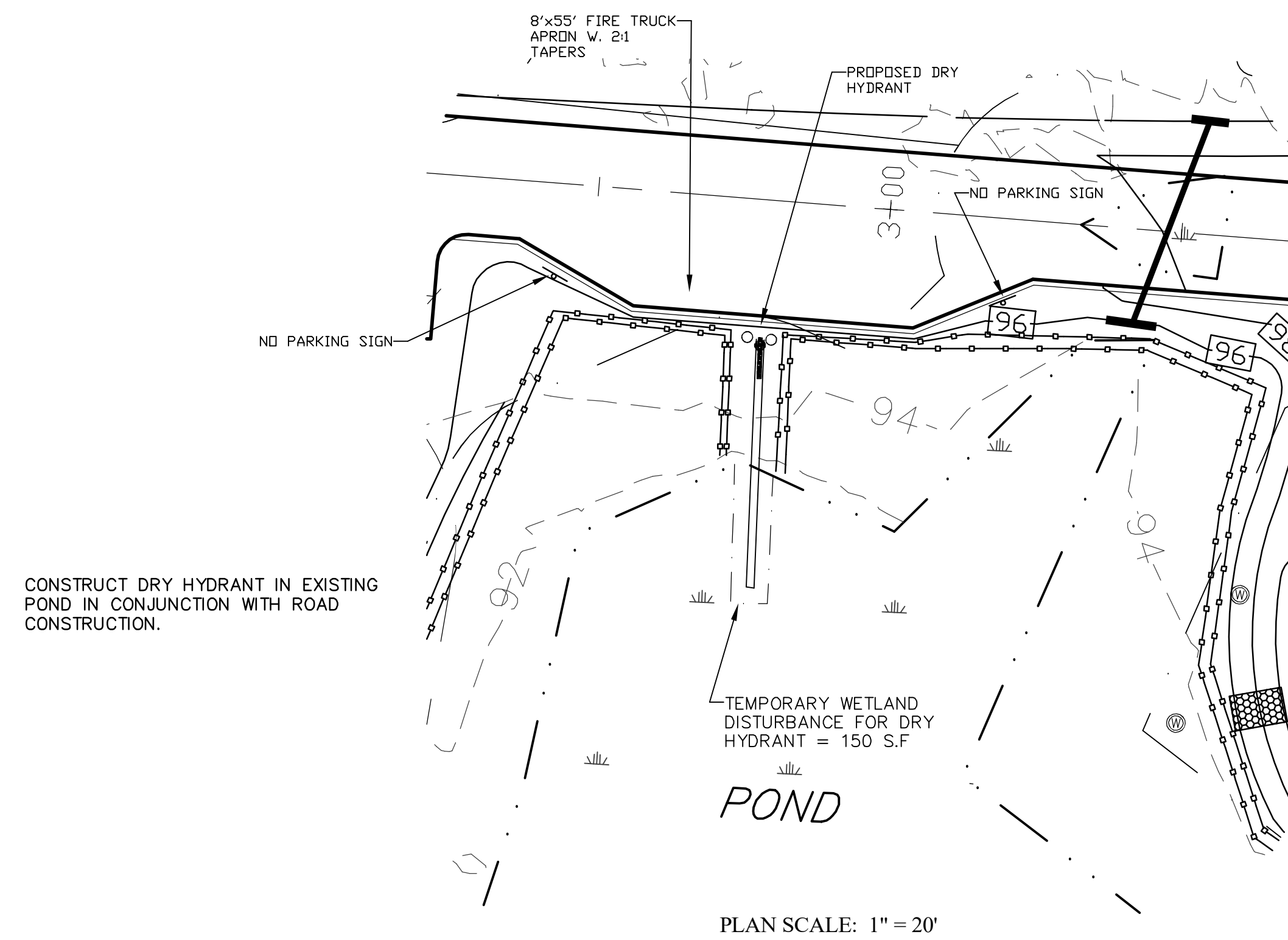




PREPARED FOR:  
**RED BARN PROPERTY LLC**  
 6 SHORE DRIVE  
 GREENLAND, NH 03840

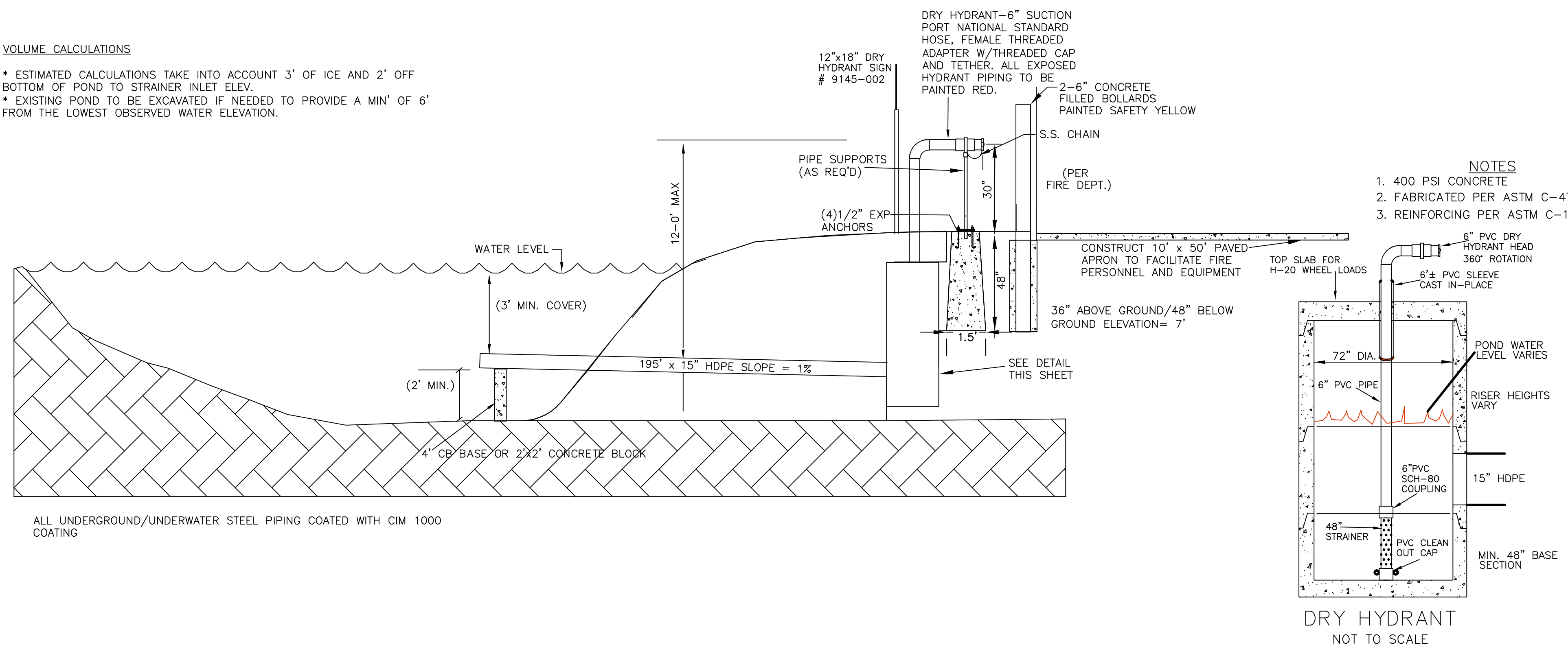


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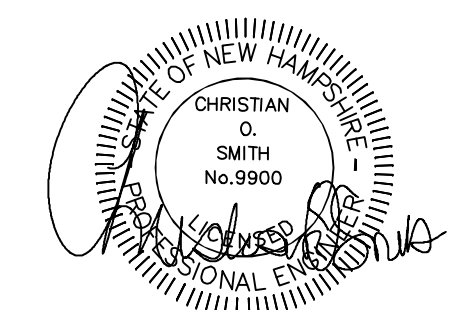


**VOLUME CALCULATIONS**

- \* ESTIMATED CALCULATIONS TAKE INTO ACCOUNT 3' OF ICE AND 2' OFF BOTTOM OF POND TO STRAINER INLET ELEV.
- \* EXISTING POND TO BE EXCAVATED IF NEEDED TO PROVIDE A MIN' OF 6' FROM THE LOWEST OBSERVED WATER ELEVATION.



ALL UNDERGROUND/UNDERWATER STEEL PIPING COATED WITH CIM 1000 COATING



REVISIONS:	DATE:
<b>FIRE POND PLAN</b>	
PLAN FOR: RESIDENTIAL DEVELOPMENT 210 PORTSMOUTH AVE STRATHAM, NH	
DATE: MARCH, 2026	SCALE: 1" = 20'
PROJ. NO: NH-1566	SHEET NO. 9

## WINTER MAINTENANCE

- ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
- ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
- PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED SUBGRADE SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
- AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

## TEMPORARY EROSION CONTROL MEASURES

- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT NO MORE THAN 5 ACRES OF LAND SHALL BE EXPOSED BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS.
- DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN 1.10 POUNDS OF SEED PER 1000 SQUARE FEET OF AREA. (48 POUNDS PER ACRE) SEE SEED SPECIFICATIONS THIS SHEET.
- SILT FENCES AND OTHER EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT GREATER THAN 0.5" DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEED AND MULCHED WITHIN 3 DAYS OF FINAL GRADING, PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS RIPRAP HAS BEEN INSTALLED.
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

## CONSTRUCTION SPECIFICATIONS

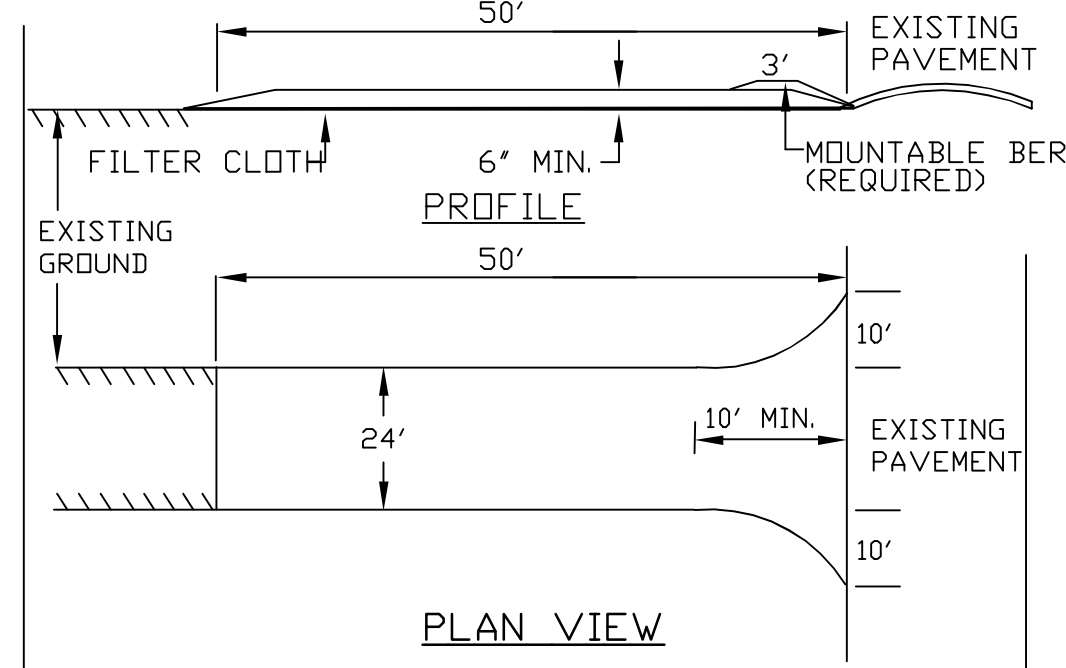
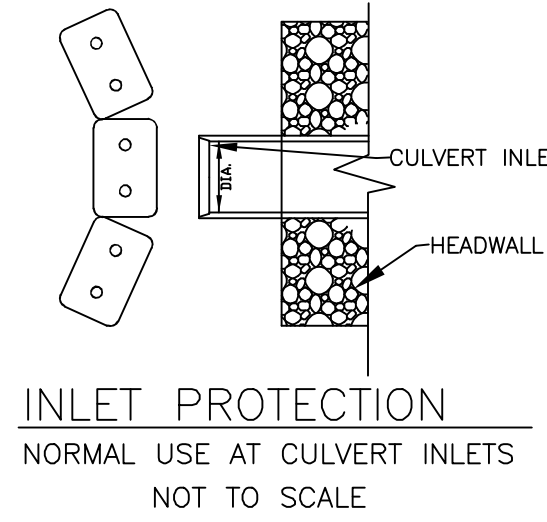
- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- WHEN TIMBER STRUCTURES ARE USED, THE TIMBER SHALL EXTEND AT LEAST 18" INTO THE SOIL.
- STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES IN TO THE SOIL.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATED VEGETATIVE BMP.
- STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.
- THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS AND INSTRUCTIONS FROM THE PLANNING DEPARTMENT IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
- THE NH COMMISSIONER OF AGRICULTURE PROHIBITS THE COLLECTION, POSSESSION, IMPORTATION, TRANSPORTATION, SALE, PROPAGATION, TRANSPLANTATION, OR CULTIVATION OF PLANTS BANNED BY NH LAW RSA 430:53 AND NH CODE ADMINISTRATIVE RULES AGR 3800. THE PROJECT SHALL MEET ALL REQUIREMENTS AND THE INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES
- THE CONSTRUCTION SITE OPERATOR AND OWNER SHALL SUBMIT A NOTICE OF INTENT (NOI) TO USEPA, WASHINGTON, DC, STORMWATER NOTICE PROCESSING CENTER AT LEAST FOURTEEN DAYS PRIOR TO COMMENCEMENT OF WORK ON SITE. EPA WILL POST THE NOI AT <http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm>. AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE STATUS".

## CONSTRUCTION SEQUENCE

- CUT AND REMOVE TREES IN CONSTRUCTION AREAS AS REQUIRED OR DIRECTED.
- CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED. EROSION, SEDIMENT AND DETENTION CONTROL FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY EARTH MOVING OPERATION AND PRIOR TO DIRECTING RUNOFF TO THEM. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE AND DISPOSED OF PER STATE AND LOCAL REGULATIONS.
- EXCAVATE AND STOCKPILE TOPSOIL/LOAM. ALL AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- CONSTRUCT TEMPORARY CULVERTS AS REQUIRED OR DIRECTED.
- CONSTRUCT THE ROADWAY/DRIVEWAYS AND ITS ASSOCIATED DRAINAGE STRUCTURES. ALL ROADWAYS, PARKING AREAS, AND CUT/FILL SLOPES SHALL BE STABILIZED AND/OR LOAMED AND SEEDED WITHIN 72-HOURS OF ACHIEVING FINISH GRADE AS APPLICABLE.
- INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEED OR MULCHED AS REQUIRED, OR DIRECTED.
- DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE CHECK DAMS, DITCHES, SEDIMENT TRAPS, ETC. TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS OR PROPERTY.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION
- COMPLETE PERMANENT SEEDING AND LANDSCAPING
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
- ALL SWALES AND DRAINAGE STRUCTURES WILL BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
- FINISH PAVING ALL ROADWAYS/DRIVEWAYS.
- LOT DISTURBANCE OTHER THAN THAT SHOWN ON THE APPROVED PLANS SHALL NOT COMMENCE UNTIL THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

## CONSTRUCTION SPECIFICATIONS FOR STRAW OR HAY BALE BARRIERS

- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- WHEN HAY BALES ARE USED, THE BALES SHALL BE EMBEDDED AT LEAST 4 INCHES INTO THE SOIL. WHEN TIMBER STRUCTURES ARE USED, THE TIMBER SHALL EXTEND AT LEAST 18 INCHES INTO THE SOIL.
- HAY OR STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES INTO THE SOIL.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATE VEGETATIVE BMP.
- STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.

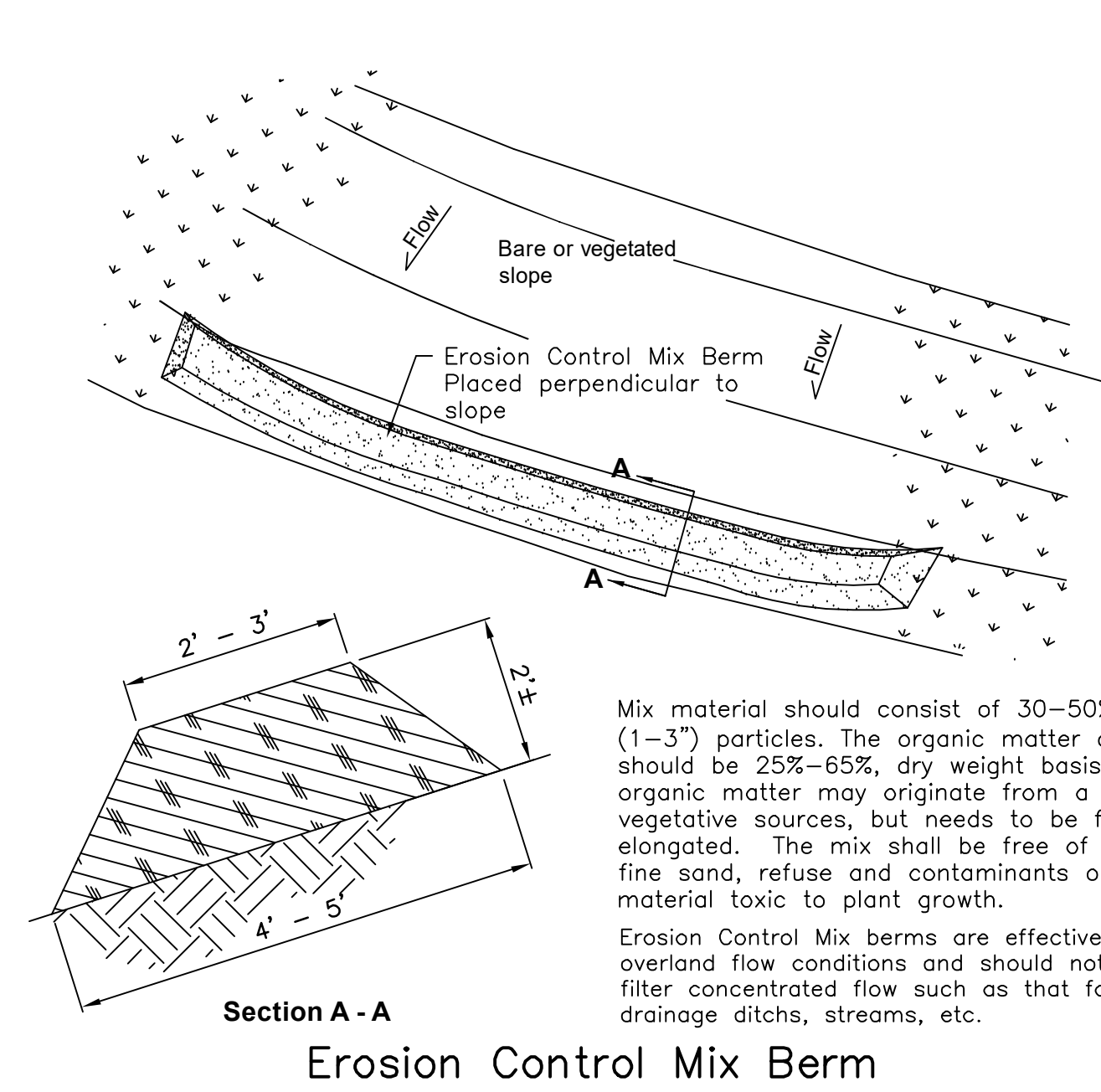


- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

## STABILIZED CONSTRUCTION ENTRANCE

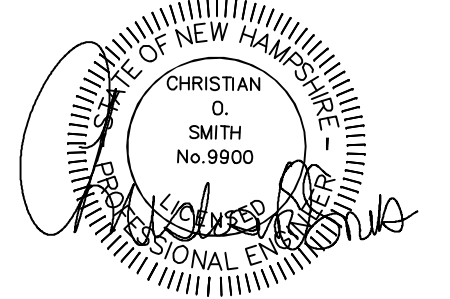
## SEEDING SPECIFICATIONS

- GRADING AND SHAPING
  - SLOPES SHALL NOT BE STEEPER THAN 2:1:3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION
  - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND
  - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
    - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT.
    - NITROGEN(N), 50 LBS PER ACRE OR 1.1 LBS PER 1,000 SQ.FT.
    - PHOSPHATE(P2O5), 100 LBS PER ACRE OR 2.2 LBS PER 1,000 SQ.FT.
    - POTASH(K2O), 100 LBS PER ACRE OR 2.2 LBS PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 5-10-10)
  - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
  - REFER TO TABLE(G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDS FOOT TREFLOID, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
  - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
- MULCH
  - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 SQ. FT.
- MAINTENANCE TO ESTABLISH A STAND
  - PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
  - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.



Mix material should consist of 30-50% large (1-3") particles. The organic matter content should be 25%-65%, dry weight basis. The organic matter may originate from a variety of vegetative sources, but needs to be fibrous and elongated. The mix shall be free of silt, clay, fine sand, refuse and contaminants or any material toxic to plant growth.

Erosion Control Mix berms are effective filters for overland flow conditions and should not be used to filter concentrated flow such as that found in drainage ditches, streams, etc.

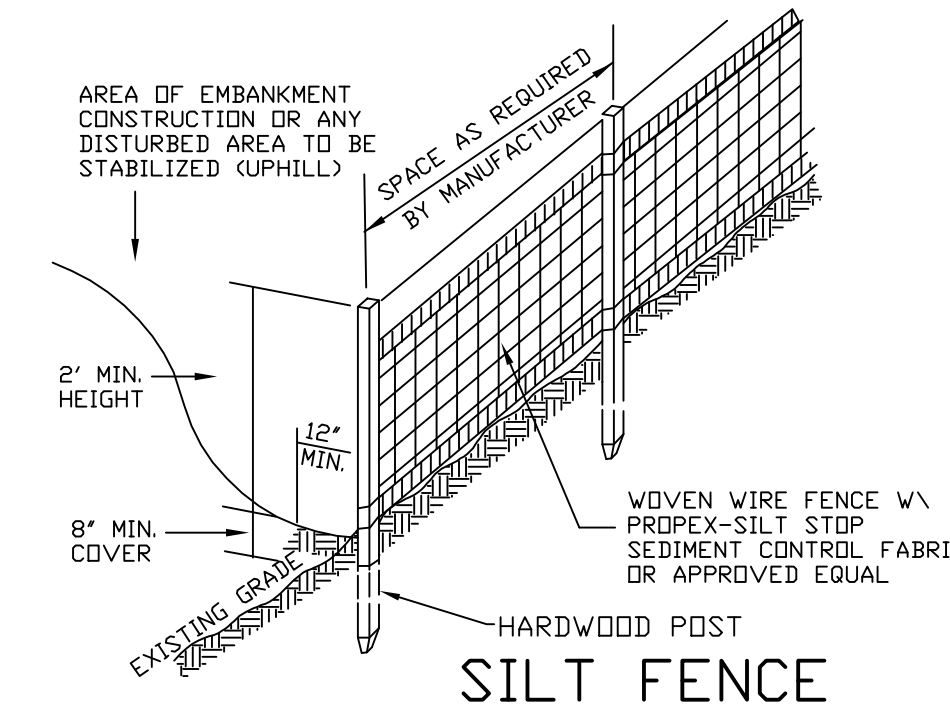


## CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8". THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED

## MAINTENANCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



## SEEDING GUIDE

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BARRIERS AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	GOOD	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	FAIR	EXCELLENT	EXCELLENT
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	FAIR	GOOD	GOOD	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	F	FAIR	EXCELLENT	EXCELLENT	2/
	G	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.  
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.  
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR DATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.

PREPARED FOR:

RED BARN PROPERTY LLC  
6 SHORE DRIVE  
GREENLAND, NH 03840

BA  
BEALS  
ASSOCIATES, PLLC

70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,



SEEDING RATES			
MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.	
A. TALL FESCUE CREEPING RED FESCUE RED TOP TOTAL	20	0.45	
	20	0.45	
	2	0.05	
	42	0.95	
B. TALL FESCUE CREEPING RED FESCUE CROWN VETCH DR FLAT PEA TOTAL	15	0.35	
	10	0.25	
	15	0.35	
	30	0.75	
	40 DR 55	0.95 DR 1.35	
C. TALL FESCUE CREEPING RED FESCUE BIRDS FOOT TREFLOID TOTAL	20	0.45	
	20	0.45	
	4	0.20	
	48	1.10	
D. TALL FESCUE FLAT PEA TOTAL	20	0.45	
	30	0.75	
	50	1.20	
E. CREEPING RED FESCUE 1/ KENTUCKY BLUEGRASS 2/ TOTAL	50	1.15	
	50	1.15	
	100	2.30	
F. TALL FESCUE 1	150	3.60	

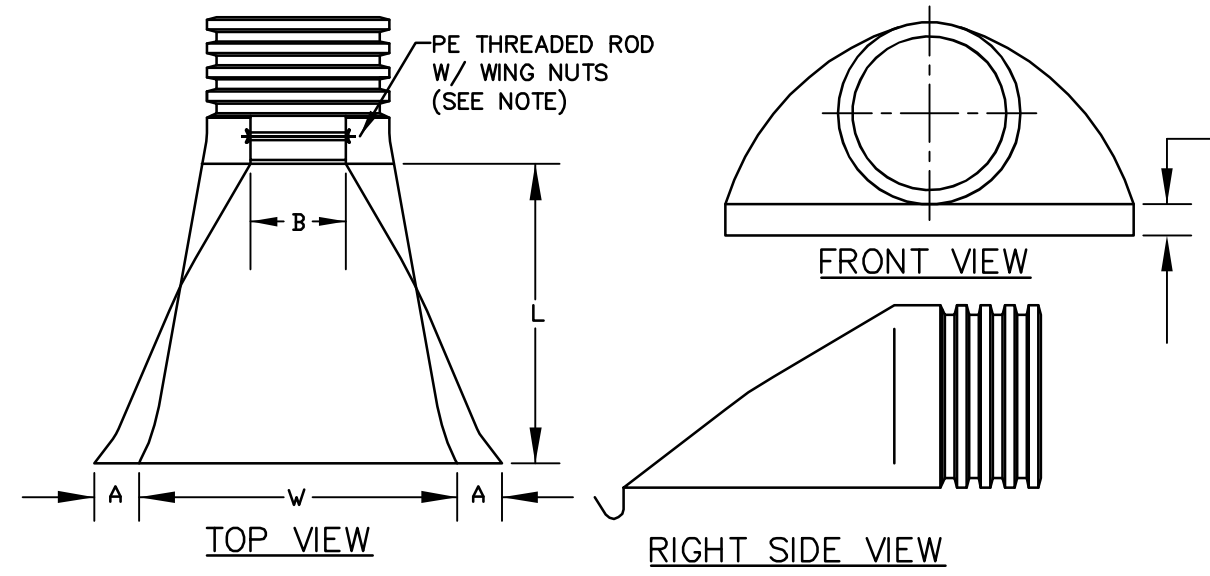
1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

## EROSION & SEDIMENTATION

PLAN FOR:  
RESIDENTIAL DEVELOPMENT  
210 PORTSMOUTH AVE  
STRATHAM, NH

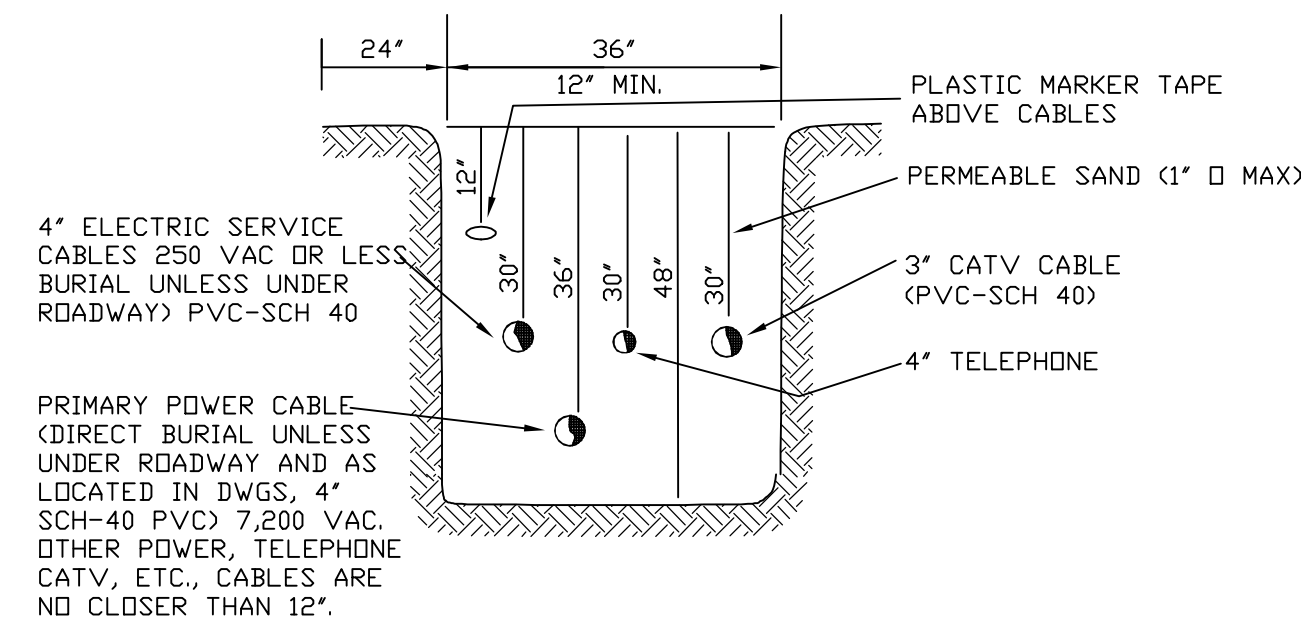
DATE:	MAR 11, 2026	SCALE	NTS
PROJ. NO.:	NH-1566	SHEET NO.	10



PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15" 375 mm	6.5" 165 mm	10" 254 mm	6.5" 165 mm	25" 635 mm	29" 735 mm
1810-NP	18" 450 mm	7.5" 190 mm	15" 380 mm	6.5" 165 mm	32" 812 mm	35" 890 mm
2410-NP	24" 600 mm	7.5" 190 mm	18" 450 mm	6.5" 165 mm	36" 900 mm	45" 1140 mm
3010-NP	30" 750 mm	10.5" 266 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm
3610-NP	36" 900 mm	10.5" 266 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm

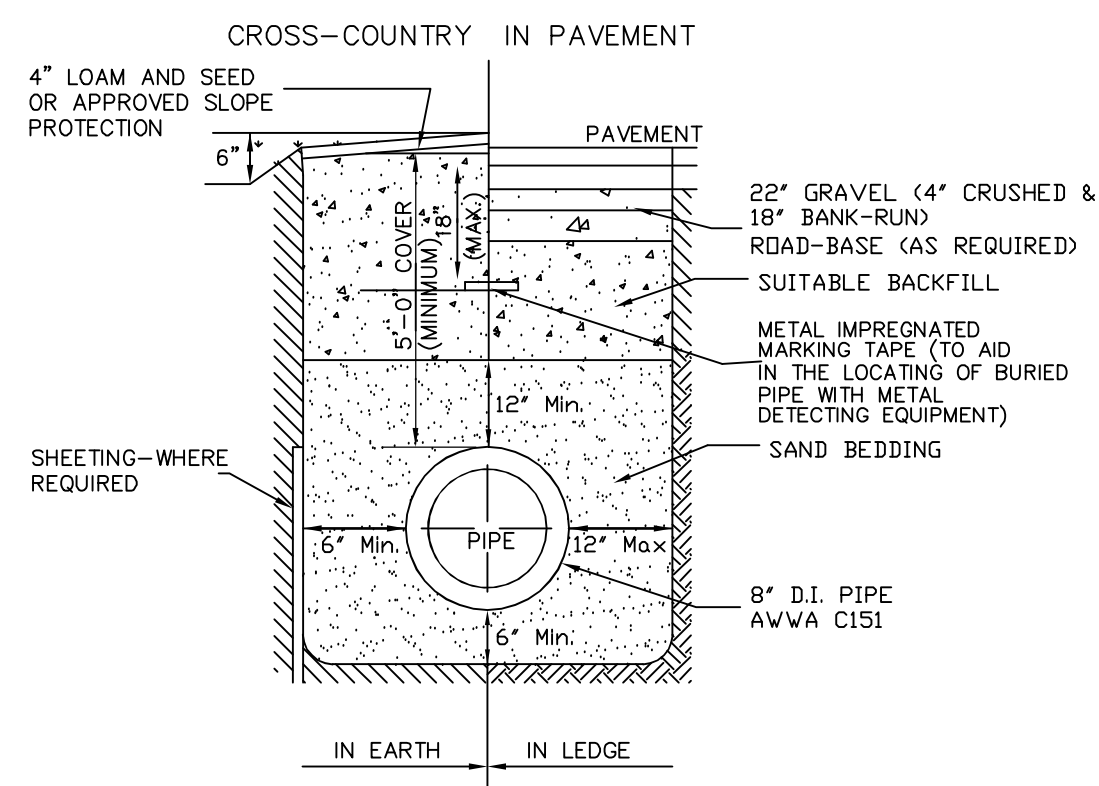
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

**ADS N-12 FLARED END SECTIONS**  
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)

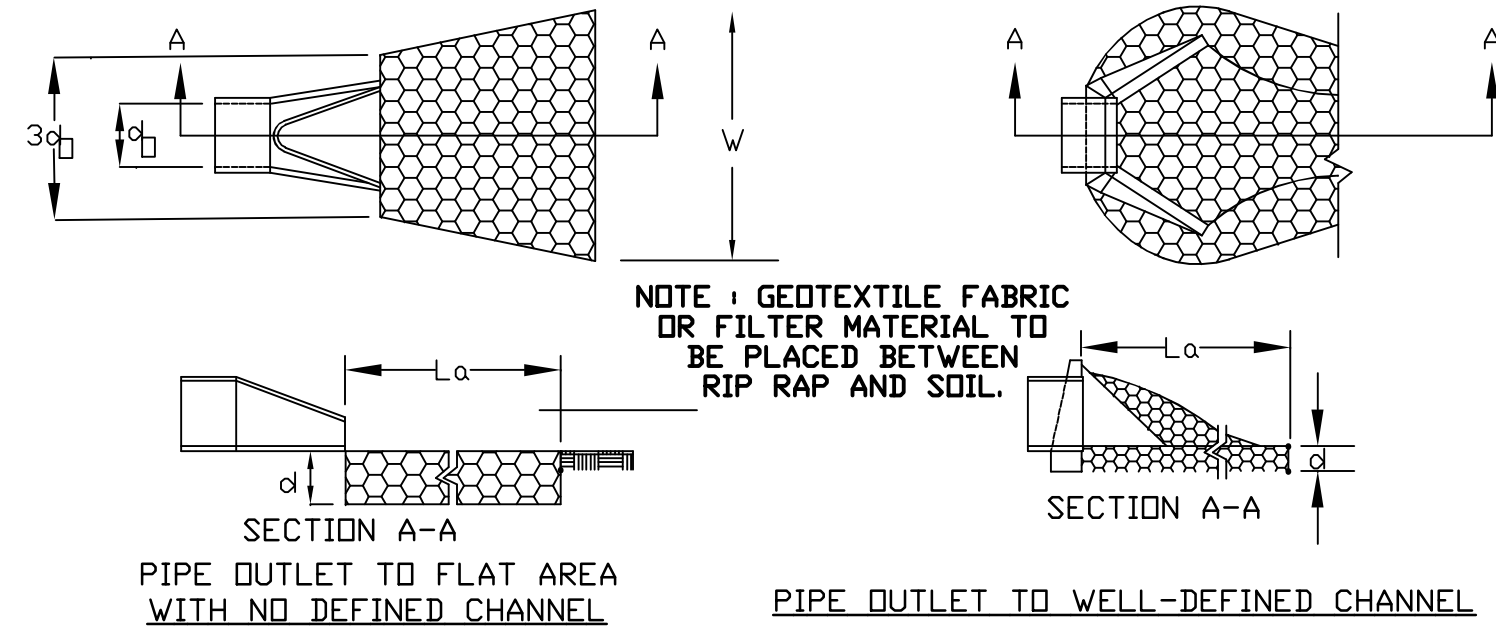


**UTILITY TRENCH DETAIL**

NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY. SERVICE BOX CONNECTIONS SHALL BE "FLUSH MOUNT" TO GREATEST EXTENT POSSIBLE AND LOCATED AT PROPERTY LINE CORNERS.



**TYPICAL TRENCH DETAIL FOR WATER SYSTEM**



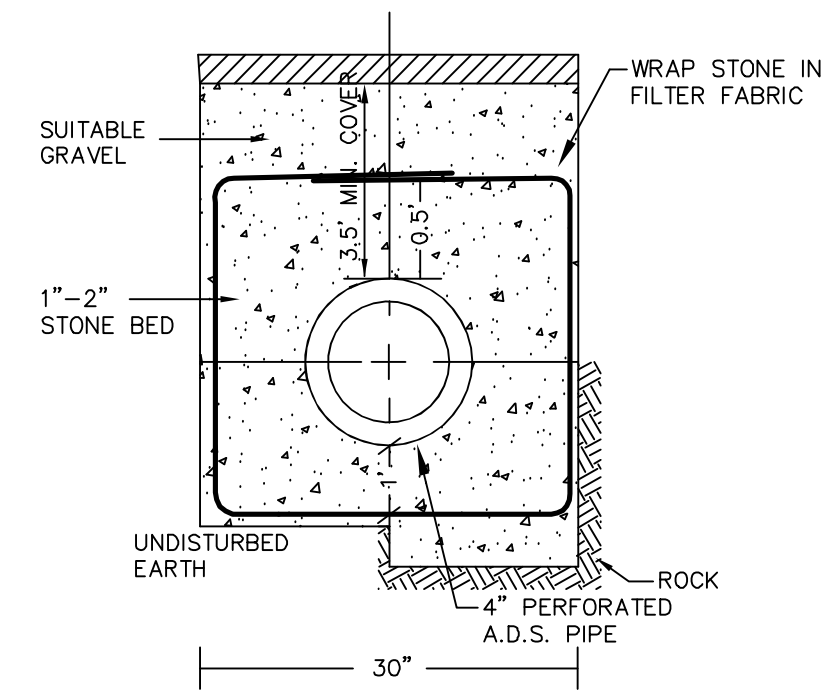
**CONSTRUCTION SPECIFICATIONS**

1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION. 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. STONE FOR RIPAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
6. FLAT ROCKS SHALL NOT USED FOR RIP RAP. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

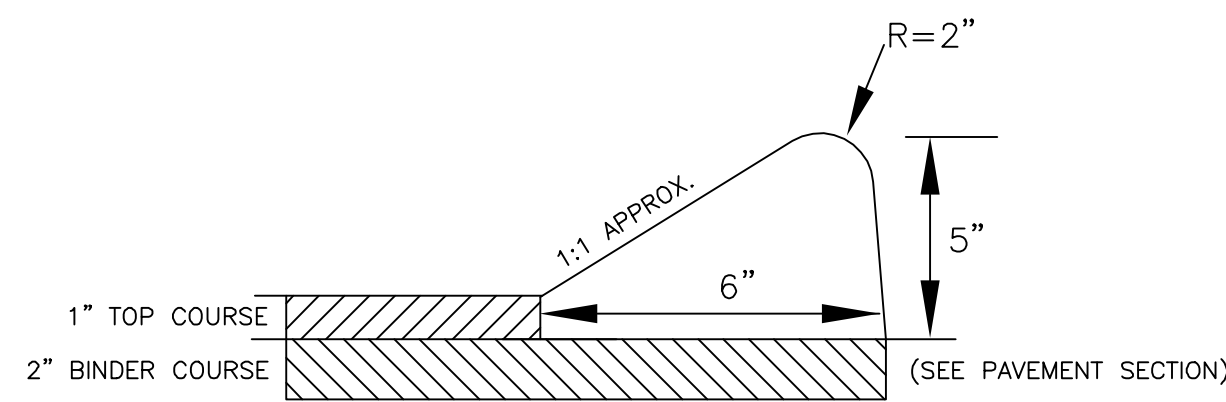
**MAINTENANCE**

1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

**PIPE OUTLET PROTECTION**



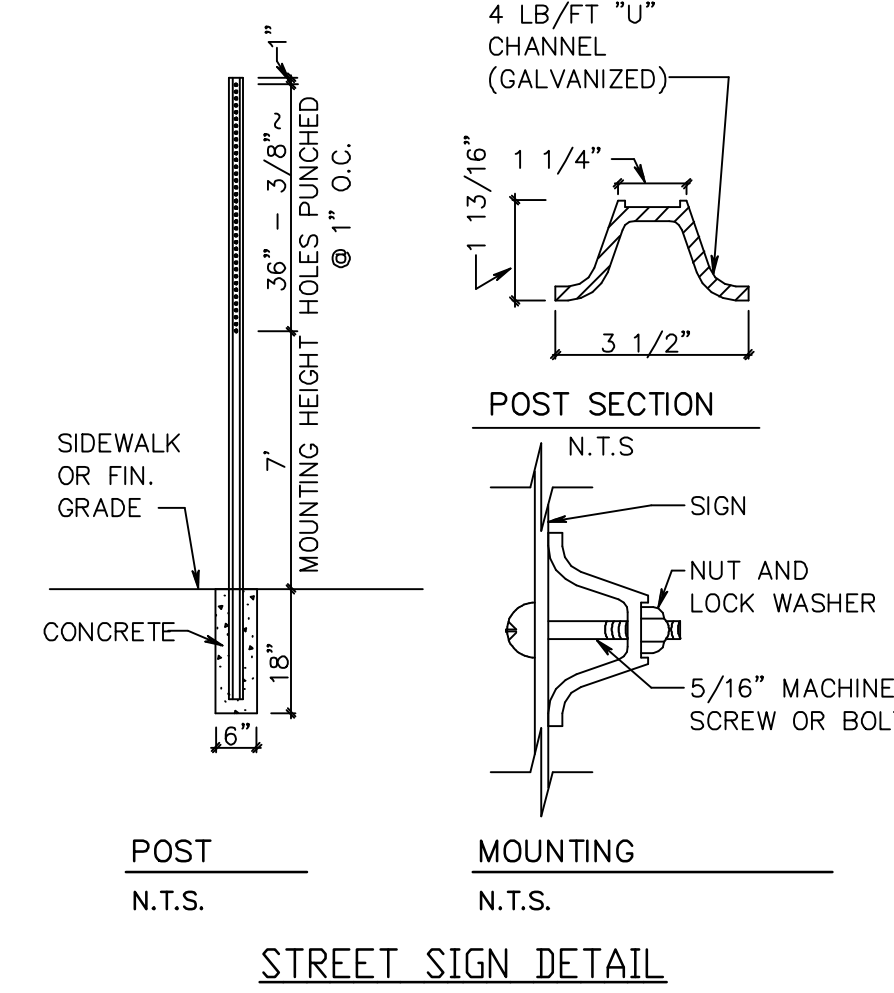
**UNDERDRAIN TRENCH DETAIL**  
NOT TO SCALE



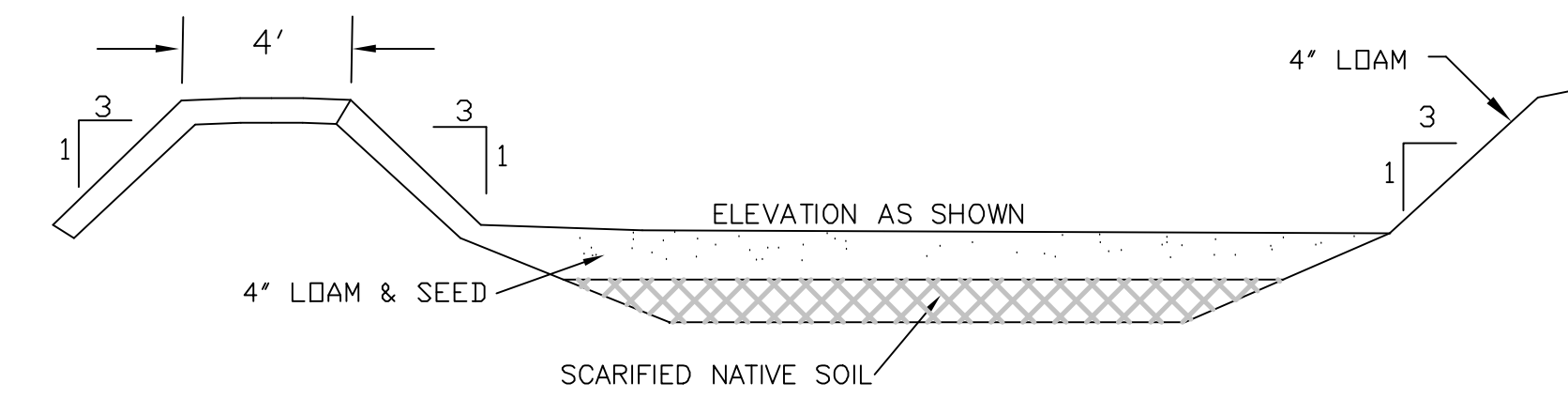
THE BIT. CURBING IS TO BE CONSTRUCTED OF A POLYFIBER CURB MIX CONTAINING 59.2% SAND, 27.6% 3/8" STONE, 9.2% 1/2" STONE, 0.3% FIBERS, AND 3.0% ASPHALT.

**CAPE COD BERM DETAIL**  
NOT TO SCALE

TRAFFIC CONTROL SCHEDULE					
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"
R2-1	SPEED LIMIT 25	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"
W14-2	NO OUTLET	24" 24"	BLACK ON YELLOW	CHANNEL	7'-0"



**STREET SIGN DETAIL**

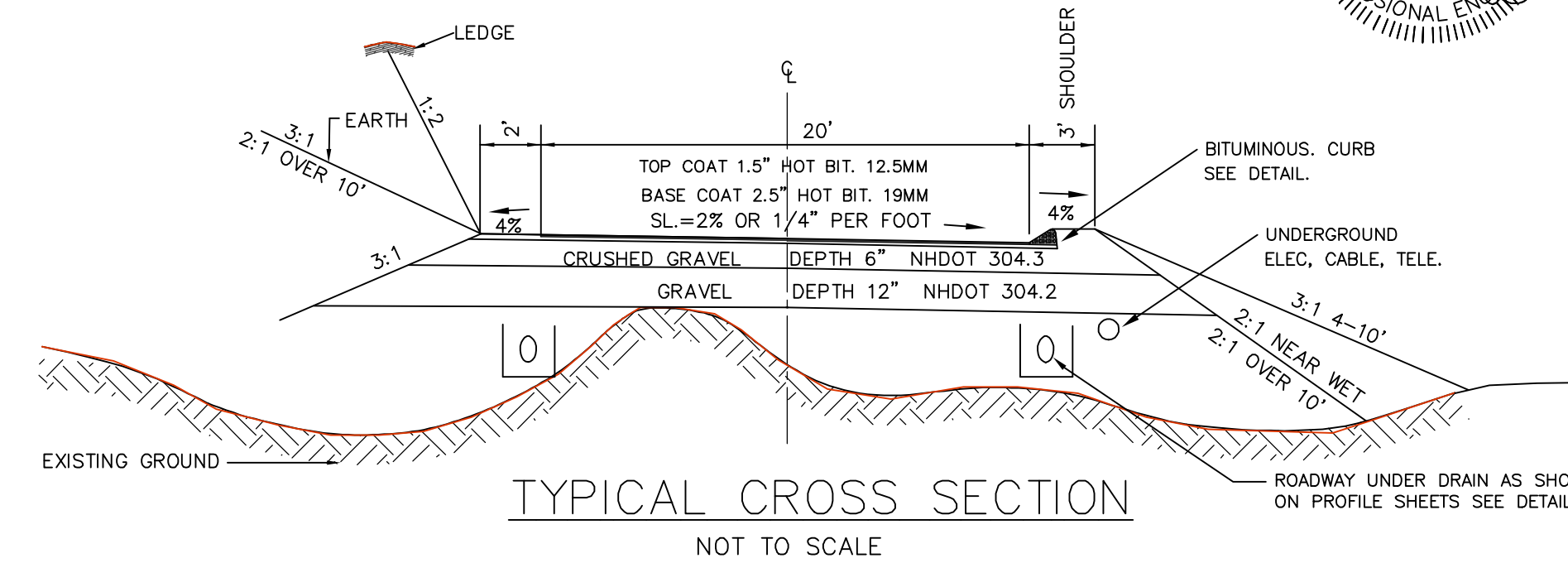


**INFILTRATION POND NOTES:**

1. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
2. AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
3. DO NOT PLACE INFILTRATION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

**INFILTRATION POND DETAIL**

NOT TO SCALE

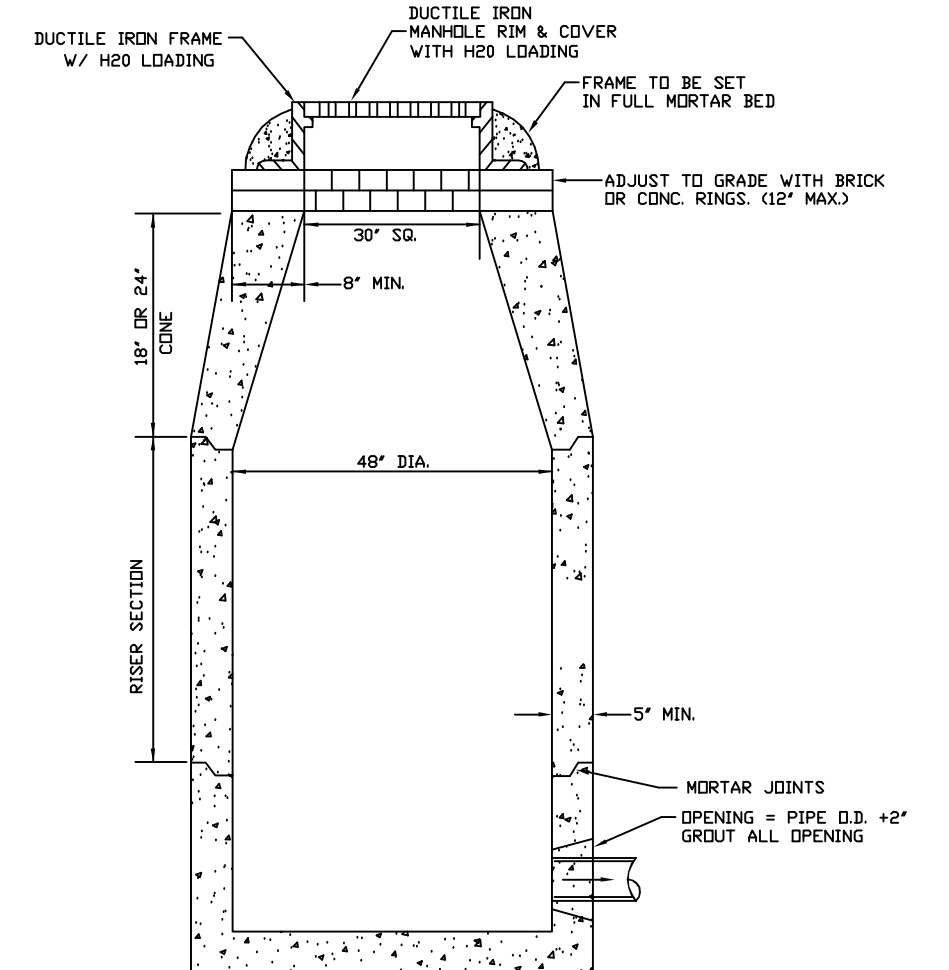


**TYPICAL CROSS SECTION**

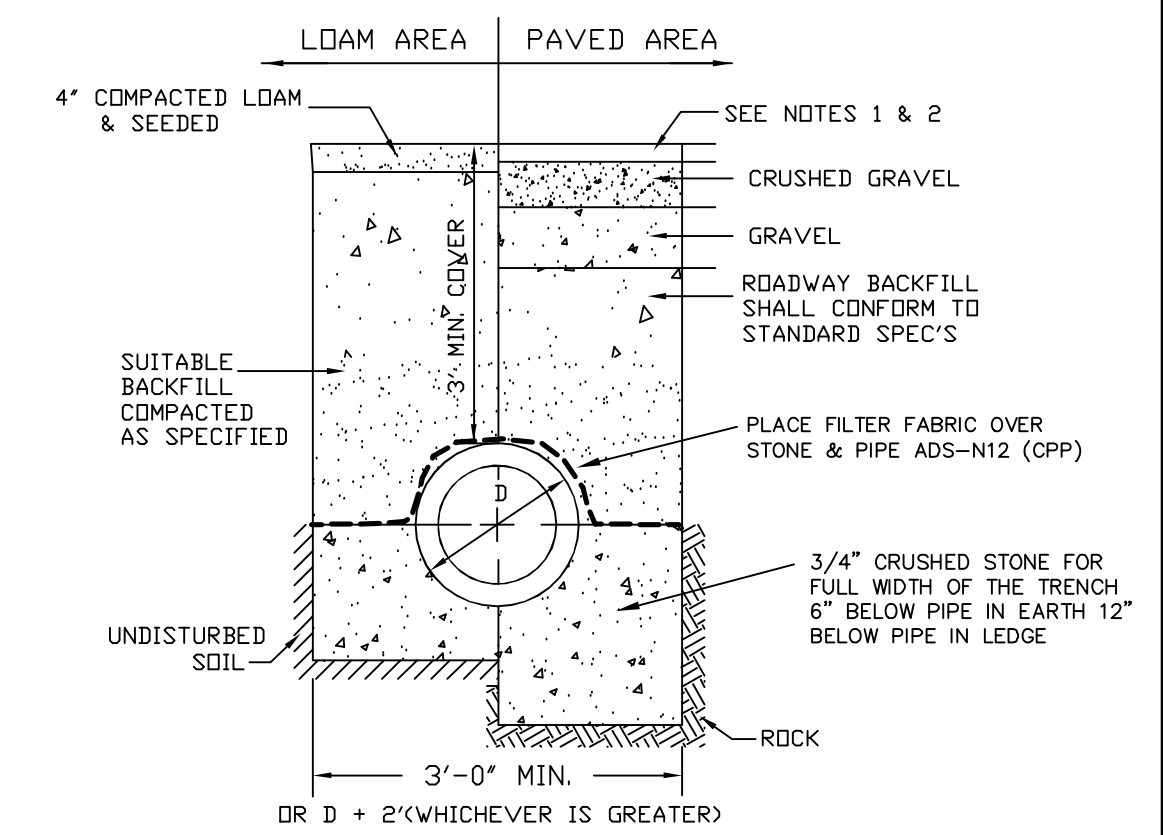
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PREPARED FOR:  
**RED BARN PROPERTY LLC**  
6 SHORE DRIVE  
GREENLAND, NH 03840

**BA BEALS ASSOCIATES, PLLC**  
70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,



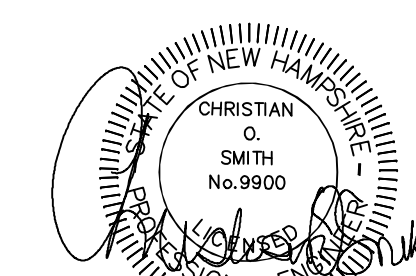
**PRECAST DRAIN MANHOLE**  
NOT TO SCALE



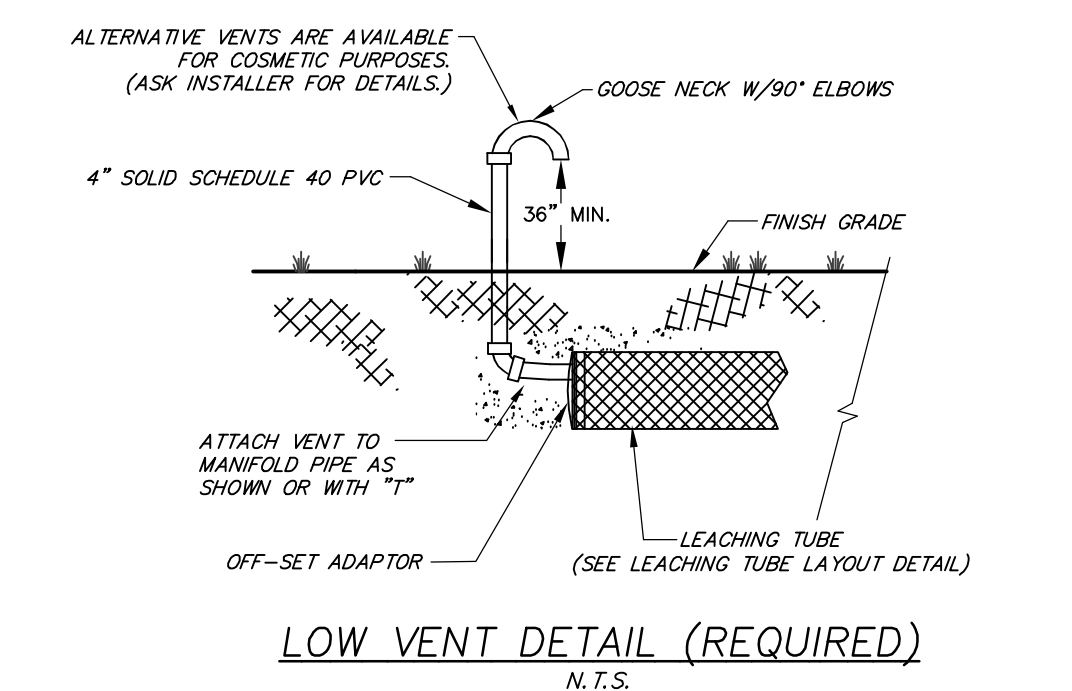
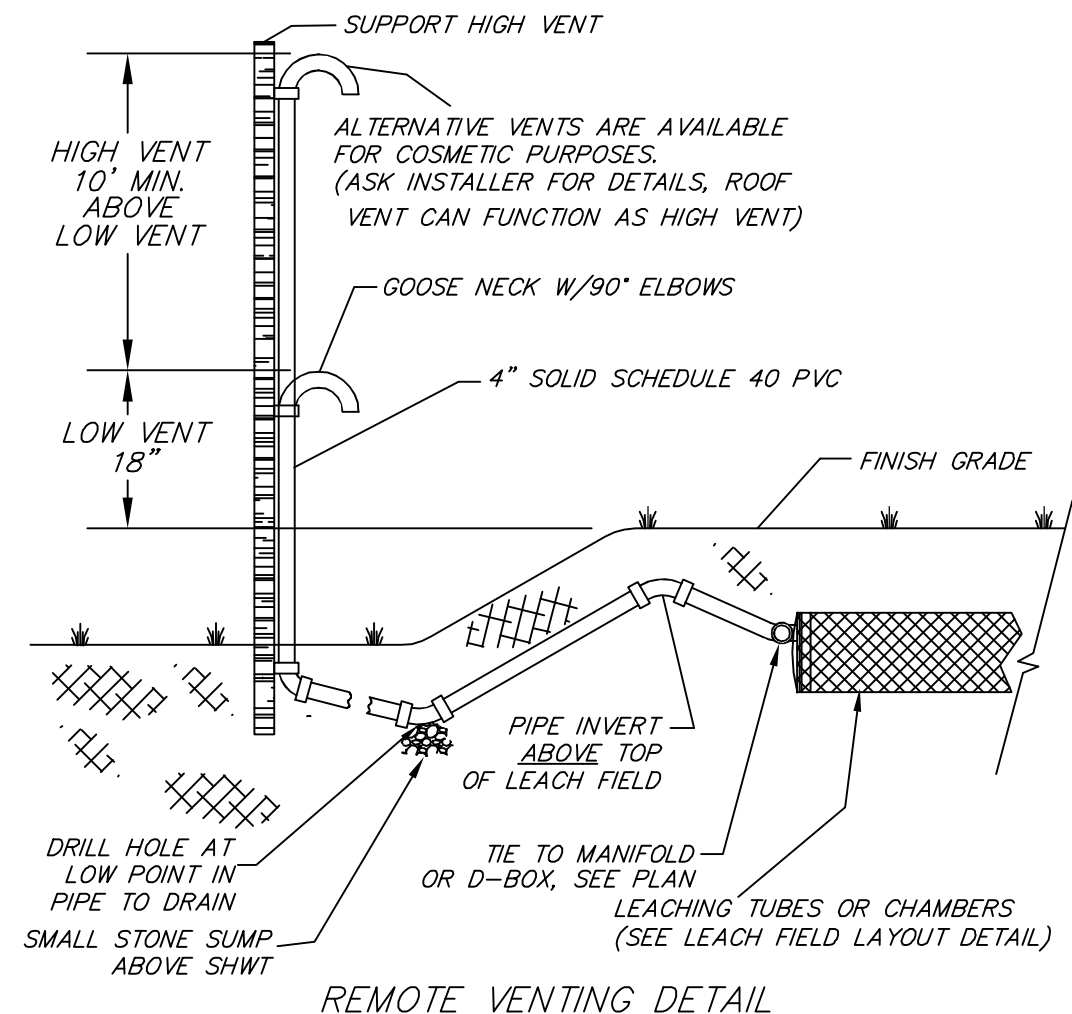
**NOTE:**

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

**TYPICAL DRAINAGE TRENCH DETAIL**



REVISIONS:	DATE:
<b>CONSTRUCTION DETAILS D1</b>	
PLAN FOR: <b>RESIDENTIAL DEVELOPMENT</b> 210 PORTSMOUTH AVE STRATHAM, NH	
DATE: MAR 11, 2026	SCALE: NTS
PROJ. NO: NH-1566	SHEET NO. 11



**SYSTEM SAND SPECIFICATIONS:**

- SAND SHALL BE PLACED A MINIMUM OF 6" BELOW AND BETWEEN PIPE ROWS, A MINIMUM OF 3" OVER THE PIPES, AND A MINIMUM OF 12" AROUND PERIMETER OF ALL PIPE ROWS.
- 35 OR LESS OF TOTAL SAND SHALL BE GRAVEL.
- 40-90% OF TOTAL SAND SHALL BE COARSE TO VERY COARSE SAND
- NO GRAVEL TO EXCEED 3/4" DIAMETER OR BE SMALLER THAN 2.0MM/0.0787" IN DIAMETER (MUST NOT PASS THROUGH A #10 SIEVE)
- NO COARSE SAND SMALLER THAN 0.5MM/0.0196" IN DIAMETER (MUST NOT PASS THROUGH A #35 SIEVE)
- NO MORE THAN 3% OF THE TOTAL SAND MAY PASS THROUGH A #200 SIEVE
- ASTM STANDARD C-33 IS AN ALTERNATE ACCEPTABLE MATERIAL FOR USE AS SYSTEM SAND.

**SURROUNDING SAND SPECIFICATIONS:**

- SHALL BE EITHER SYSTEM SAND OR TITLE 5 FILL, 310 CMR 15.255 (3)

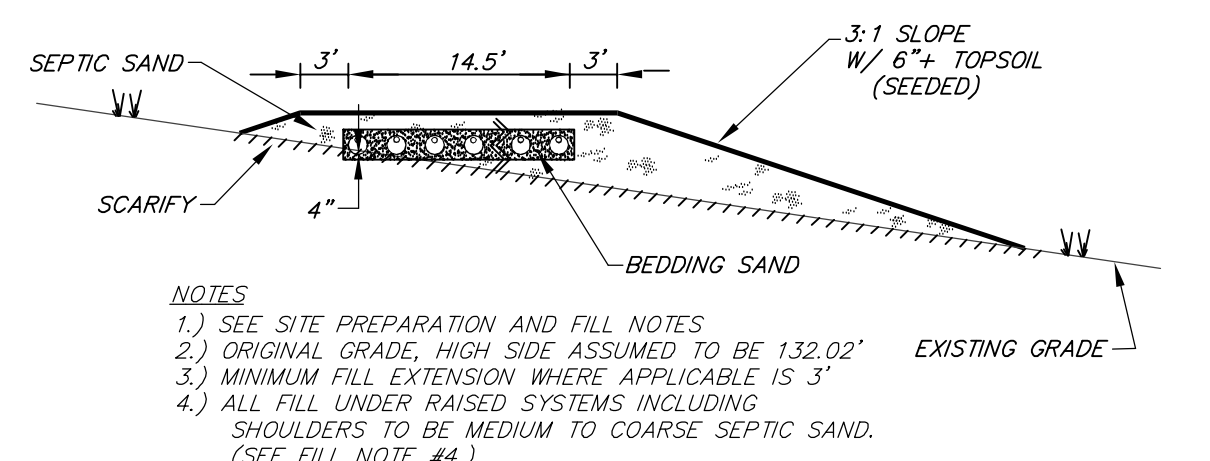
**INSPECTION PORT REQUIREMENTS:**

- ONE INSPECTION PORT CONSISTING OF A PERFORATED FOUR INCH PIPE PLACED VERTICALLY 6 INCHES BELOW THE BOTTOM OF THE ENVIRO-SEPTIC PIPE IS REQUIRED.
- THE PIPE SHALL BE CAPPED WITH A SCREW TYPE CAP AND ACCESSIBLE TO WITHIN THREE INCHES OF FINAL GRADE (SEE TITLE 5, 310 CMR 15.240 (13)).
- VERTICAL PIPE SHALL BE WRAPPED WITH PERMEABLE GEOTEXTILE FABRIC.

- 1. THIS PLAN DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY OR ENGINEERED SITE PLAN.**  
EVERY ATTEMPT HAS BEEN MADE TO ACCURATELY IDENTIFY THE RELEVANT PROPERTY LINES DEPICTED ON THIS PLAN. HOWEVER, SEPTIC SYSTEM PLANS ARE NOT INTENDED FOR BUILDING LAYOUT. A LICENSED LAND SURVEYOR SHOULD BE RETAINED TO LAY OUT ALL BUILDINGS ON THE SITE AND VERIFY THAT THEY WILL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL ZONING REQUIREMENTS PRIOR TO CONSTRUCTION.  
\*BEALS ASSOCIATES PLLC ACCEPTS NO LIABILITY IF THIS PLAN IS USED INAPPROPRIATELY.
- 2. ANY DISCREPANCY BETWEEN THESE PLANS AND THE APPARENT FIELD CONDITIONS TO BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION.**
- 3. BOUNDARY INFORMATION FROM ELECTRONIC SURVEY PLAN BY DAVID VINCENT, USED WITH PERMISSION.**
- 4. ALL CONCRETE PRODUCTS ARE TO BE MANUFACTURED BY A.J. FOSS OF FARMINGTON, N.H. OR EQUAL.**
- 5. ALL SEPTIC TANKS MUST HAVE BAFFLES AT INLETS, OUTLETS, AND BETWEEN COMPARTMENTS.**
- 6. CONCRETE STRUCTURE TO BE WATER TIGHT, ALL JOINTS, INLETS, OUTLETS, ETC. TO BE SEALED WITH NON-SHRINK GROUT - "WATER PLUG", "BLOCK BOND", OR EQUAL.**
- 7. SEPTIC TANK MUST BE A MINIMUM OF 5 FEET FROM FOUNDATION DRAIN. LEACH FIELD TO BE A MINIMUM OF 15 FEET FROM FOUNDATION DRAIN. OUTLET OF FOUNDATION DRAIN TO BE A MINIMUM OF 25 FEET FROM SEPTIC TANK AND EFFLUENT DISPOSAL AREA.**
- 8. 4 INCH GRAVITY SEWER TO BE SDR 35 OR SCHEDULE 40 PVC, WHERE WELL IS <75' FROM SEPTIC TANK, 4" GRAVITY SEWER TO BE SDR 26, FORCE MAINS TO BE SDR 26, SCHEDULE 40 PVC, OR POLYETHYLENE PIPE ("POLY PIPE"), 100-150 PSI RATING.**
- 9. MINIMUM PIPE SLOPES: BUILDING TO TANK = 2%, TANK TO D-BOX = 1%**
- 10. DISTRIBUTION BOX SHALL HAVE FLOW EQUALIZER OUTLET FITTINGS, UNLESS SYSTEM UTILIZES A PUMP.**
- 11. SYSTEM MUST BE INSPECTED AND APPROVED BY NH-DES PRIOR TO BACKFILLING.**
- 12. EFFLUENT DISPOSAL AREA MAY BE REBUILT IN PLACE, SHOULD FAILURE OCCUR, PROVIDED THAT THE REQUIREMENTS OF ADMINISTRATIVE RULE ENV.WS 1003.10 ARE MET.**
- 13. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER INSTALLATION OF PLASTIC TANK. BUOYANCY CONTROL MEASURES MAY BE REQUIRED AND ARE RECOMMENDED BY BEALS ASSOCIATES, INC.**

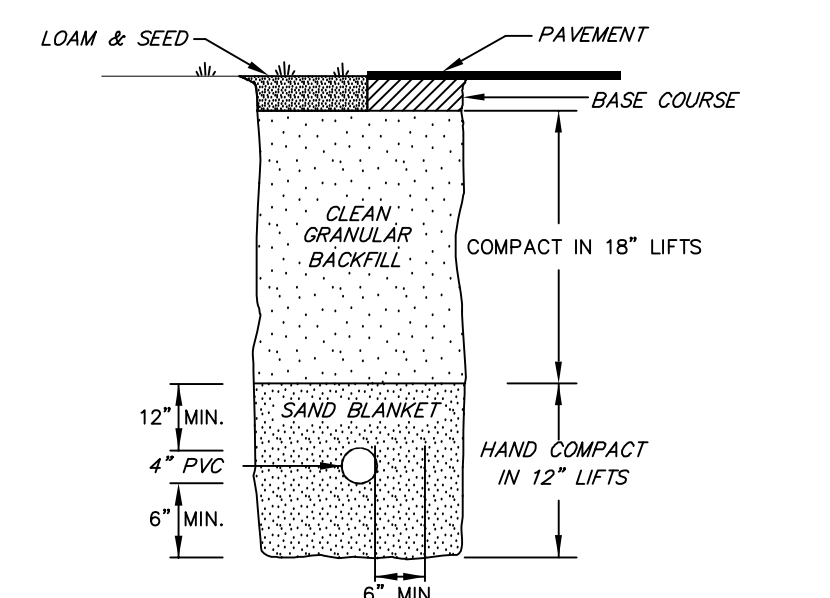
- SITE PREPARATION AND FILL**
- CHECK DESIGN INTENT AND VERIFY THE ELEVATION OF EXISTING GROUND (UPSLOPE SIDE) BEFORE DISTURBING SITE. THE "DESIGN INTENT" MUST BE MAINTAINED.
  - REMOVE ALL TREES, BRUSH, BOULDERS, AND DEBRIS FROM THE AREA TO BE FILLED AND 10' AROUND. STUMPS NOT TO BE BURIED WITHIN 75' OF EFFLUENT DISPOSAL AREA, UNLESS UPSLOPE (35' MIN.).
  - REMOVE TOPSOIL, LEAVE SUBSOIL IN PLACE. DO NOT COMPACT SUBSOIL WITH MACHINERY. SCARIFY WITH TEETH OF EXCAVATOR BEFORE PLACING FILL. SCARIFY PARALLEL WITH CONTOURS, WORKING FROM THE CENTER OUTWARD. SOIL MUST BE DRY PRIOR TO PREPARATION.
  - MATERIAL SPECIFICATIONS:**  
**TOPSOIL:** 6" OF CLEAN LOAM TO BE PLACED AS BLANKET ON TOP AND SIDE SLOPES.  
**CLEAN FILL:** PERMEABLE SOIL FREE OF ROOTS, DEBRIS, ORGANICS, AND STONES GREATER THAN 3".  
**SEPTIC SAND:** FILL TO EXTEND BED BOTTOM PAST ORIGINAL GRADE AND FOR THE SIDE SLOPES AS SHOWN ON THE SCHEMATIC "FILL SECTION A-A" TO MEET THE FOLLOWING SPECIFICATION: MEDIUM TO COARSE TEXTURED SAND, NO GREATER THAN 5% PASSING THE NUMBER 200 SIEVE, AND NO PARTICLES LARGER THAN 3".  
**SEPTIC STONE:** USE CLEAN 1.5" STONE WITH A RANGE OF 0.75" TO 2.5" AND FREE OF FINES, IN ACCORDANCE WITH ENV-W'S TABLE 1014-2. CRUSHED GRANITE MUST BE THOROUGHLY WASHED TO MINIMIZE THE POTENTIAL CLOGGING EFFECT OF STONE DUST.
  - SEPTIC STONE TO BE PLACED ONTO PREPARED SURFACE FROM THE SIDE. DO NOT ALLOW EQUIPMENT ON THE SCARIFIED SOIL SURFACE. FILL BETWEEN PIPES TO BE CAREFULLY PLACED WITH EXCAVATOR.
  - WHEN FILL IS REQUIRED TO EXTEND BED BOTTOM BEYOND ORIGINAL GRADE, PLACE FILL IN 12" LOOSE LAYERS USING A TRACK TYPE TRACTOR WITH BLADE. ALWAYS KEEP A MINIMUM OF 9" OF FILL MATERIAL BENEATH TRACKS OF TRACTOR TO MINIMIZE COMPACTION OF NATURAL SOIL. EACH LAYER BE SPREAD IN UNIFORM THICKNESS PRIOR TO PLACING NEXT LAYER. CONTINUOUS GRADING AND SHAPING SHALL BE CARRIED OUT TO ASSURE UNIFORM DENSITY THROUGHOUT EACH LAYER.
  - ENTIRE FILLED AREA SHOULD BE COVERED WITH TOPSOIL, SEEDED, AND MULCHED IMMEDIATELY AFTER BACKFILLING TO PREVENT EROSION.
  - BACKFILL DEPTH OVER SYSTEM TO BE 12"-24", CROWN 2% MIN. TO PROVIDE RUNOFF. SYSTEM BACKFILLED WITH MORE THAN 18" MUST BE VENTED.

- OPERATION AND MAINTENANCE**
- IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN THIS SYSTEM IN ACCORDANCE WITH THESE "OPERATION AND MAINTENANCE" INSTRUCTIONS.
  - EVERY SYSTEM'S DESIGN CAPACITY IS LIMITED. CAREFUL AND REASONABLE WATER USE IS REQUIRED TO MAXIMIZE THE SYSTEM'S LIFE.
  - THIS SYSTEM MUST BE OPERATED WITHIN ITS DESIGN CAPACITY. THE AVERAGE DAILY FLOW TO THE EFFLUENT DISPOSAL AREA SHOULD BE NO MORE THAN 1/2 ITS APPROVED DESIGN CAPACITY.
  - SYSTEM IS NOT DESIGNED TO HANDLE WASTE FROM A SEWAGE EJECTOR PUMP.
  - SYSTEM IS NOT DESIGNED FOR A GARBAGE DISPOSAL.
  - DO NOT DISPOSE OF GREASE, CHEMICALS, SOLVENTS ETC. VIA THIS SYSTEM.
  - IT IS NOT RECOMMENDED THAT THE BACKWASH FROM WATER SOFTENERS BE DISCHARGED INTO THE SEPTIC SYSTEM. CURRENT NH-DES RULES ALLOW THAT WATER SOFTENER BACKWASH BE DISCHARGED TO A SEPARATE DRYWELL. NO DESIGN OR APPROVAL IS REQUIRED FOR THIS.
  - SEPTIC TANK MUST BE PUMPED BY A LICENSED HAULER AT LEAST EVERY TWO YEARS. KEEP PUMPING RECEIPTS AS PROOF OF MAINTENANCE. CHECK TANK YEARLY. IF SLUDGE AND SURFACE SCUM EXCEED 1/3 OF LIQUID DEPTH, HAVE TANK PUMPED.
  - DO NOT ALLOW VEHICULAR TRAFFIC OVER ANY COMPONENT OF SYSTEM UNLESS THAT STRUCTURE IS DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.
  - THE OWNER SHOULD KEEP A COPY OF THIS PLAN WITH HIS/HER IMPORTANT DOCUMENTS FOR FUTURE REFERENCE. THIS PLAN SHOULD BE PROVIDED TO FUTURE OWNER. COPIES ARE AVAILABLE FROM THIS OFFICE.
  - IF THIS DESIGN UTILIZES A ZABEL FILTER, HAVE FILTER CLEANED WHEN TANK IS PUMPED. IF THERE ARE ANY SIGNS OF PLUMBING BACKUP, CALL PUMPER AND HAVE TANK AND FILTER CLEANED.



**SCHEMATIC EFFLUENT DISPOSAL AREA SECTION**  
N.T.S.

- SITE NOTES:**
- GRADING SHOWN IS FOR SEPTIC SYSTEM ONLY. ADDITIONAL GRADING IS AT THE DISCRETION OF THE CONTRACTOR AND/OR OWNER.
  - PER ENV-WO 1003.13 (A)(3) THERE ARE NO KNOWN CEMETERIES LOCATED WITHIN 100' OF ANY PART OF THE EFFLUENT DISPOSAL SYSTEM.
  - NH-DES REQUIRES A PERIMETER DRAIN IF THE SLAB IS LESS THAN 18" TO THE SHWT. CERTAIN TOWNS REQUIRE A PERIMETER DRAIN AT ALL TIMES - CHECK LOCAL REGULATIONS. IT IS THE RECOMMENDATION OF THIS OFFICE A PERIMETER DRAIN BE INSTALLED REGARDLESS.
  - BEST MANAGEMENT PRACTICES ARE TO BE FOLLOWED DURING ALL CONSTRUCTION TO PREVENT SITE ALTERATION THAT MAY CAUSE EROSION AND/OR DRAINAGE ISSUES.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE FOUNDATION IN SUCH A MANNER AS



**NOTES:**

- MINIMUM COVER SHALL BE 6" FOR PLOWED AREAS, 4" FOR CROSS COUNTRY
- MULTIPLE PIPES IN THE SAME TRENCH SHALL BE SEPARATED BY 12"

**STANDARD TRENCH DETAIL**  
FOR EFFLUENT SEWER OR FORCEMAIN  
N.T.S.

**\*\*THIS PLAN IS NOT A SURVEY\*\***

THE BUILDER/SITE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE ZONING DIMENSIONAL REQUIREMENTS AND SETBACK LINE REQUIREMENTS PRIOR TO INITIATING CONSTRUCTION OF THE PROPOSED HOUSE AND SEPTIC SYSTEM. THE ZONING ORDINANCE OF THE MUNICIPALITY IS TO BE COMPLIED WITH. THE BUILDER/SITE CONTRACTOR IS ALSO RESPONSIBLE TO CONTACT THE MUNICIPALITY REGARDING INSPECTIONS PRIOR TO AND DURING CONSTRUCTION, I.E. LOCATION AND BED- BOTTOM INSPECTIONS. THIS PLAN IS NOT INTENDED TO BE USED AS A SITE PLAN.

**RECOMMENDATION (NOT REQUIRED)**

THERE ARE SEVERAL TYPES OF ADDITIONAL FILTERS THAT MAY BE ADDED WITHIN THE SEPTIC TANK (SUCH AS "ZABEL FILTER"). THE VOLUNTARY ADDITION OF SUCH FILTERS MAY ALSO INCREASE THE "LIFE" OF THIS EFFLUENT FIELD.

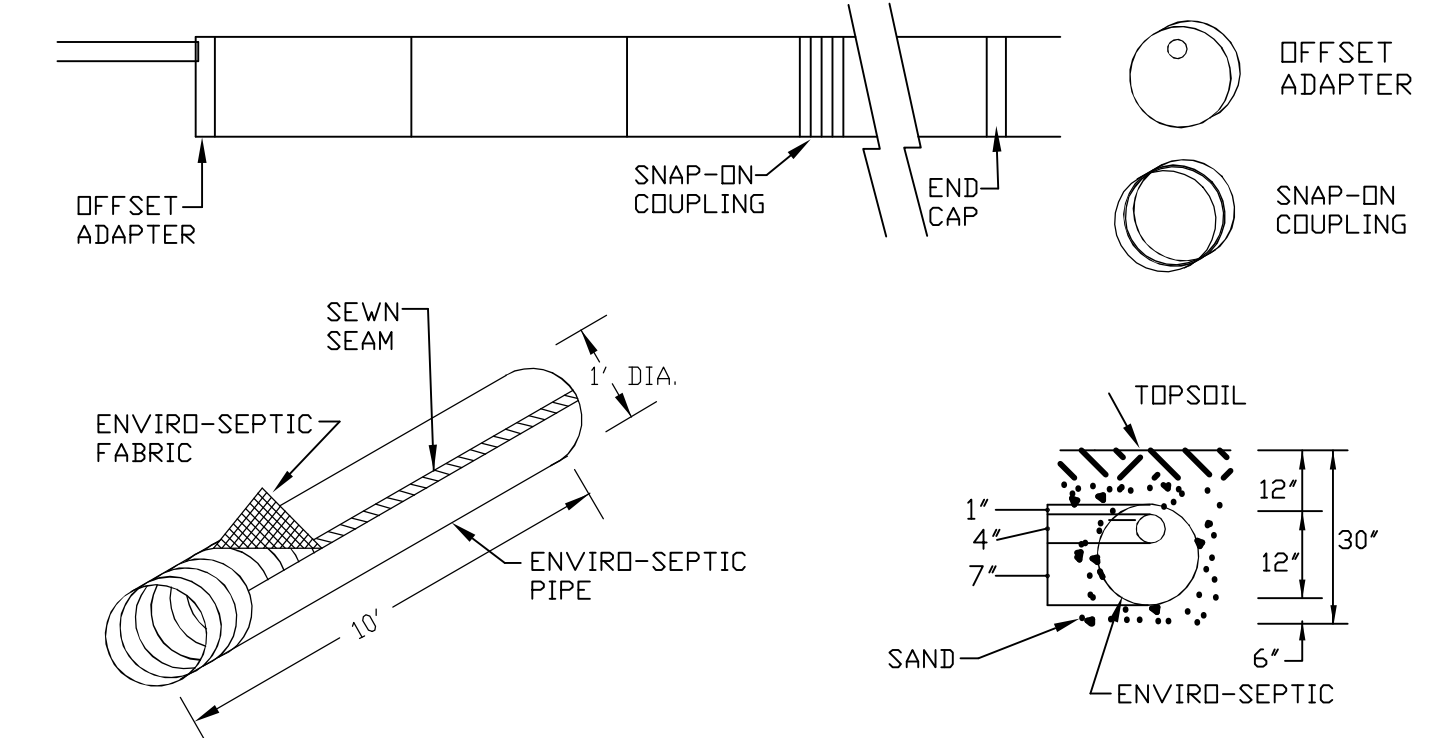
**GRADING NOTE**

GRADING SHOWN IS FOR SEPTIC SYSTEM ONLY. ADDITIONAL GRADING IS AT THE DISCRETION OF THE CONTRACTOR AND/OR OWNER

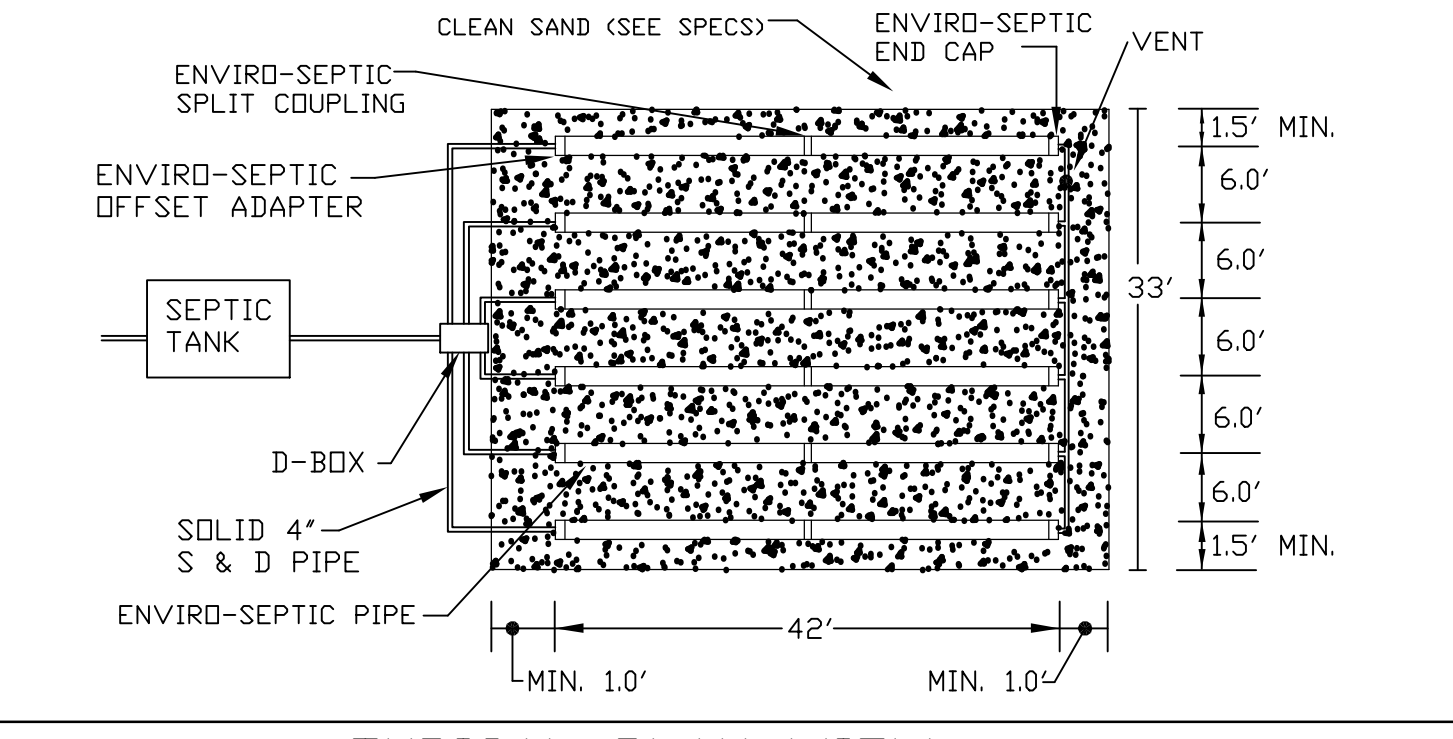
**ENVIRO-SEPTIC NOTE**

ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEMS ARE APPROVED BY NHDES AS ITA IN ACCORDANCE WITH PART ENV-W'S 1024. THIS SYSTEM IS DESIGNED IN ACCORDANCE WITH THE NH DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC & ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEMS.

THIS DESIGN UTILIZES ADVANCED ENVIRO-SEPTIC TUBE WHICH ALLOW A 24" SEPARATION TO SHWT. ADVANCED ENVIRO-SEPTIC TUBES REQUIRE A LOW VENT PER DESIGN MANUAL, AND ARE NOT TO BE SUBSTITUTED.



**ENVIRO-SEPTIC PIPE DETAIL**



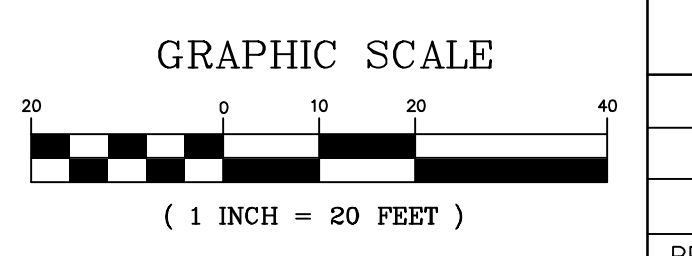
**TYPICAL PLAN VIEW**

3 BEDROOM RESIDENTIAL HOME = 330 GALLONS  
 330 GPD @ 51 MIN./INCH = 240 L.F. REQUIRED (From the Design Table)  
 240 L.F. OF ENVIRO-SEPTIC PIPE PROVIDED  
 BED DIMENSIONS 33.00' x 42.00'

**ENVIRO-SEPTIC DESIGN CALCULATIONS**

**ESHWT ELEVATION CALCS.**

HP=60.30'  
 ESHWT= 112" OR 9.33'  
 ESHWT ELEV.=50.37'

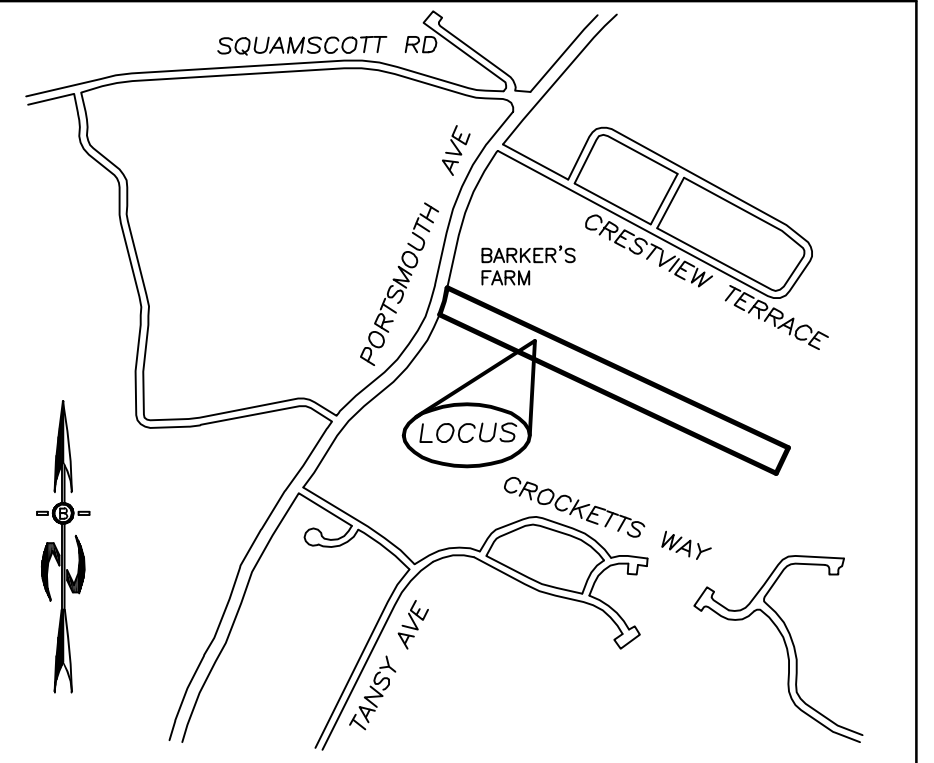


**DESIGNER STAMP**

NEW HAMPSHIRE  
 Designer of  
 Subsurface Disposal  
 Systems  
 \*\*\*  
 Christian O. Smith  
 No. 1543  
 Department of Environmental Services

**OWNER OF RECORD**

RED BARN PROPERTY LLC  
 BRENDAN SHEEHAN  
 6 SHORE DRIVE  
 GREENLAND, NH 03840  
 RCRD BOOK 6543, PAGE 1271



**LOCATION MAP**  
NTS

**GENERAL NOTES**

CONTRACTOR TO VERIFY ALL ELEVATIONS, INCLUDING TBM'S IN THE FIELD PRIOR TO CONSTRUCTION

FILL TO BE MEDIUM TO COARSE-TEXTURED SAND (0.25mm-2.0mm) REMOVE TOPSOIL BEFORE PLACING FILL  
 4 INCH THICK LOAM & SEED AROUND PERIMETER OF FILL  
 SIDE SLOPES OF FILL= 3(HORIZONTAL):1(VERTICAL)

SEPTIC TANK TO BE SEALED AND GROUTED  
 25' SETBACK SURFACE WATER  
 50' SETBACK FROM BORDERING VEGETATED WETLAND  
 NO VEHICULAR NOR LIVESTOCK TRAVEL NOR SNOW REMOVAL ALLOWED IN AREA OF SYSTEM.

ALL SEALANT TO BE NON-SHRINK MORTAR OR THICK PLASTIC CEMENT.

SYSTEM WILL BE REPLACED IN SAME LOCATION IN EVENT OF FAILURE.

RECOMMENDED CLEANING SEPTIC TANK AT LEAST ONCE EVERY 2 YEARS.

IF GARBAGE GRINDERS ARE DESIRED, SEPTIC TANK MIN. 200% DESIGN FLOW WITH 2 COMPARTMENTS.

CRDNW SYSTEM TO SHED RAINWATER.  
 SLOPE SYSTEM AWAY FROM HOUSE.

NO WELLS WITHIN 25'  
 5' FT. FILL EXTENSION

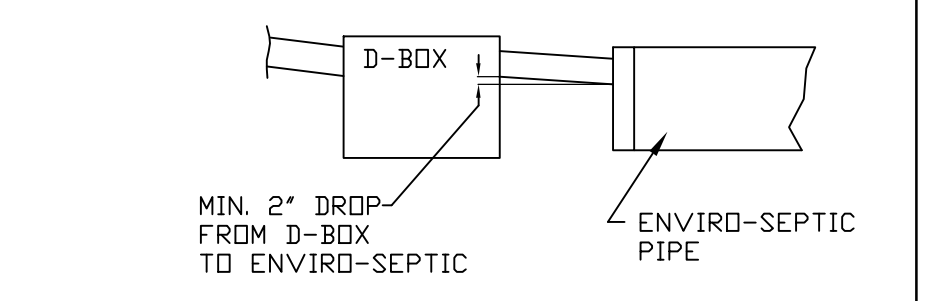
BED BOTTOM INSPECTION REQUIRED

ENVIRO-SEPTIC TO BE SUPPLIED BY: WASTE INC. (224-6596) OR EQUAL

1,500 GALLON SEPTIC TANK & D-BOX TO BE SUPPLIED BY: NEW ENGLAND PRECAST OR EQUAL

256A DEERFIELD LOAMY FINE SAND  
 ESSEX COUNTY NATURAL RESOURCES CONSERVATION SERVICE

**DESIGN INTENT**  
 \*THE BOTTOM OF THE EFFLUENT DISPOSAL ARE (EDA) SHALL BE CONSTRUCTED AT 122.62' ELEVATION\*, AND \*THERE ARE APPROXIMATELY 117 FEET BELOW ORIGINAL GROUND ON THE HIGH CONTOUR OF THE DESIGNED EFFLUENT DISPOSAL AREA (EDA)\*.



**BA BEALS ASSOCIATES, PLLC**

70 PORTSMOUTH AVE,  
 THIRD FLOOR, SUITE 2  
 STRATHAM, N.H. 03885  
 PHONE: 603-583-4860,

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

**SEPTIC GENERAL NOTES & DETAILS**

PLAN FOR:  
 RESIDENTIAL DEVELOPMENT  
 210 PORTSMOUTH AVE  
 STRATHAM, NH

DATE: MAR 11, 2026 SCALE: 1" = 20'  
 PROJ. NO: NH-1566 SHEET NO. S-1

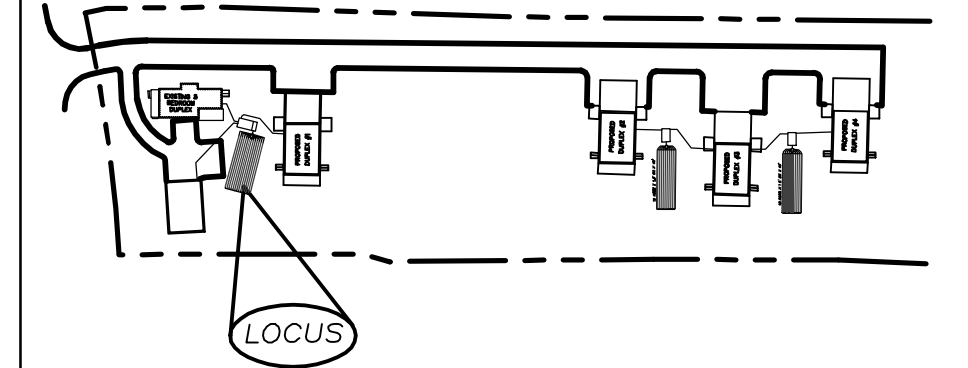
SEPTIC ELEVATIONS SHOWN ARE BASED ON MINIMUMS. THE CONTRACTOR IS RESPONSIBLE TO SET THE APPROPRIATE SEPTIC ELEVATION INTO EACH UNIT BASED ON FINAL FOUNDATION ELEVATION.

**FOUNDATION SETBACKS**  
10' FROM SEPTIC TANK  
20' FROM SOIL ABSORPTION SYSTEM

\*CONTRACTOR MAY VARY TANK ELEVATIONS TO ACCOMMODATE EXISTING CONDITIONS. MINIMUM SLOPE REQUIREMENTS MUST BE MAINTAINED.

**DESIGN INTENT:**  
THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM SHALL BE CONSTRUCTED AT EL. 131.87'  
  
THIS IS APPROXIMATELY 4" BELOW THE ORIGINAL GROUND ON THE HIGH CONTOUR OF THE EFFLUENT DISPOSAL SYSTEM, EL. 132.2'  
  
DIMENSIONS - EFFLUENT DISPOSAL AREA:  
WIDTH = 14.5'  
LENGTH = 30.0'  
DIAGONAL = 33.3'

**DESIGN NOTES**  
SEPTIC TANK:  
REQUIRED: 1,275 GAL x 2 (PUMPING) = 2,550 GAL  
PROVIDED: 3,000 GAL  
  
NEAREST ABUTTING WELL: 75'+  
NEAREST SURFACE WATER: 75'+  
NEAREST POORLY DRAINED WETLAND: 50'+  
NEAREST VERY POORLY DRAINED WETLAND: 75'+  
  
USSCS SOIL CLASSIFICATION:  
350C UDIPSAMMENTS  
SITE SPECIFIC SOIL SURVEY  
BENCH MARKS: AS SHOWN



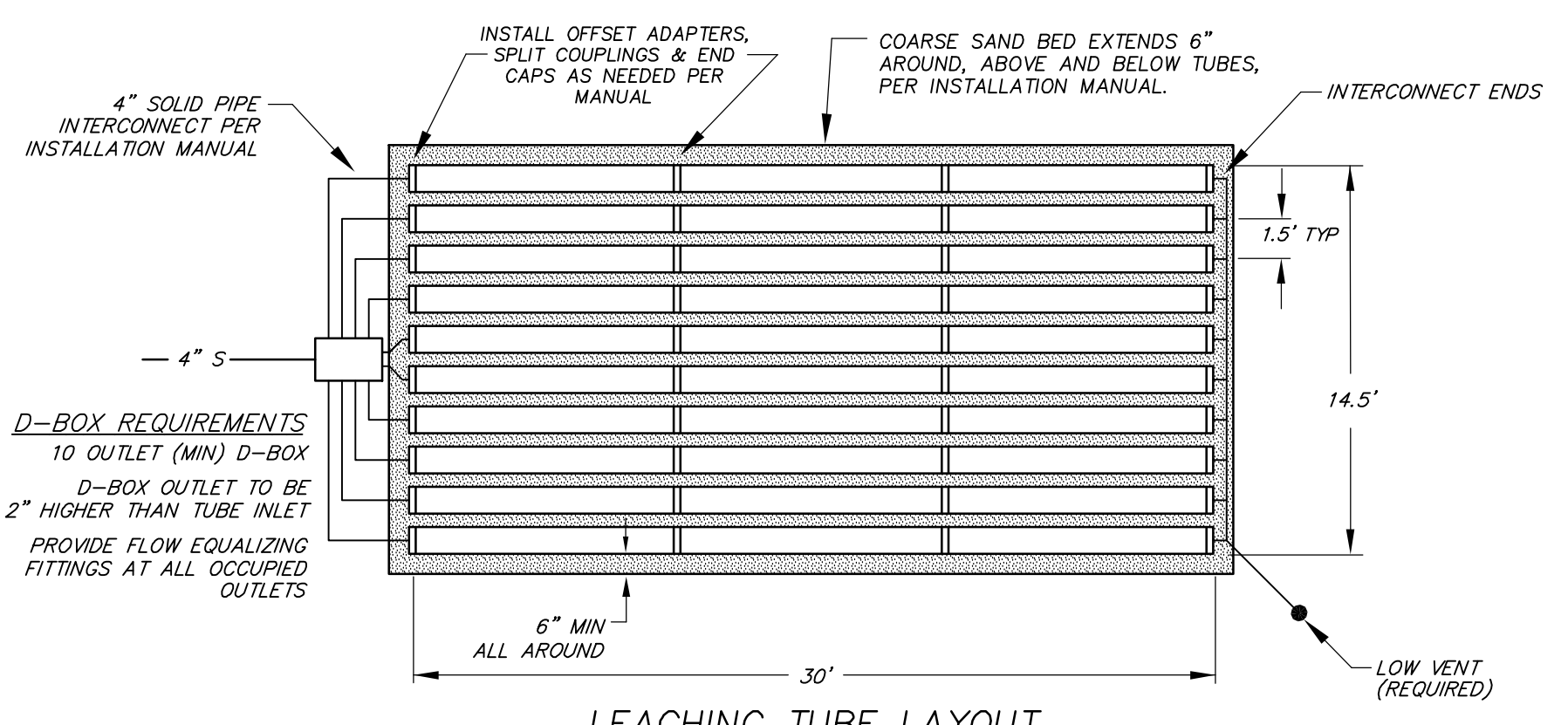
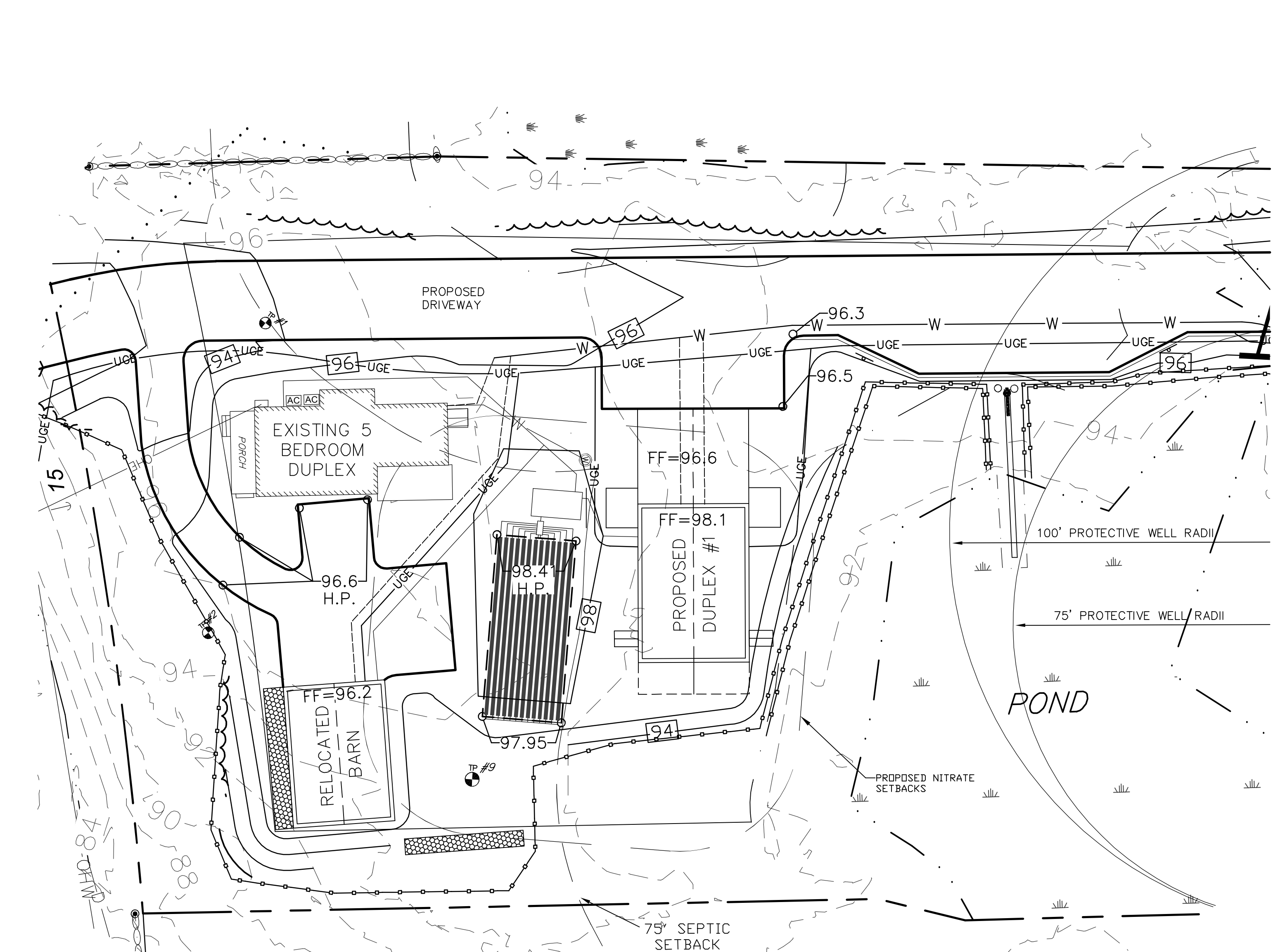
SYSTEM LOCATION MAP

**ENVIRO-SEPTIC DESIGN CALCULATIONS**

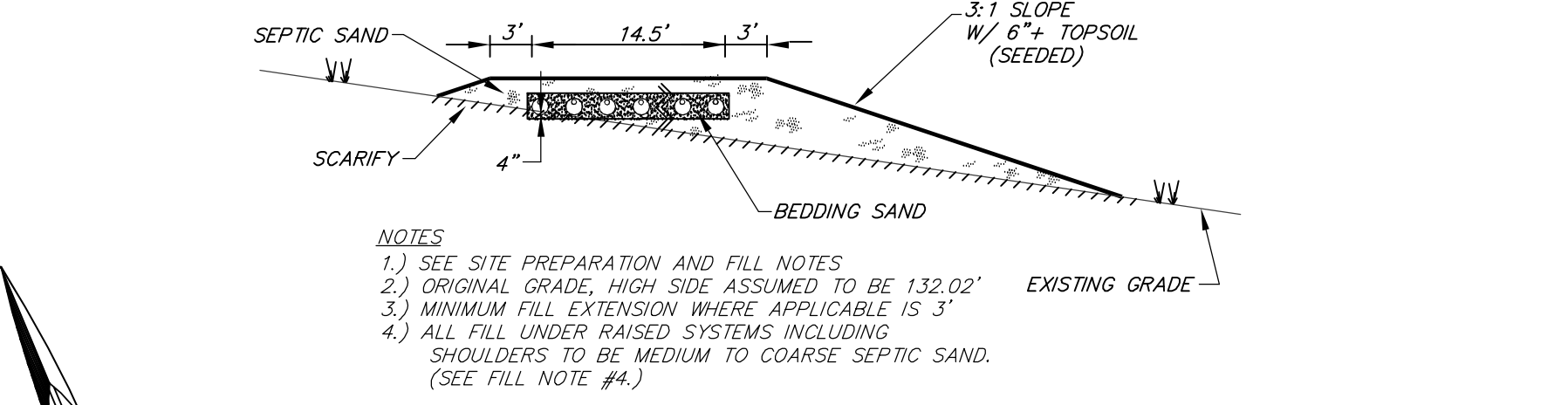
**PROPOSED LOADING:**  
1 2-BR DUPLEX (EXISTING) & 1 3-BR DUPLEX (EXISTING) +  
1 1-BR DUPLEX (#1) & 1 2-BR DUPLEX (#1) =  
1 1-BR UNIT X 225 GPD + 2 2-BR UNITS X 300 GPD +  
1 3-BR UNIT X 450 GPD = 1,275 GPD  
  
**DESIGN PERC RATE = 1-40 MIN/IN**  
  
PER PRESBY MANUAL: 8 BR = 560 LF REQUIRED  
450 LF PROVIDED: 10 ROWS @ 1.5' O.C. X 45' PER ROW

**DISPOSAL SYSTEM PROFILE (FIELD #1)**

N.T.S.



LEACHING TUBE LAYOUT  
NOT TO SCALE



SCHEMATIC EFFLUENT DISPOSAL AREA SECTION  
N.T.S.

**TEST PIT LOGS**

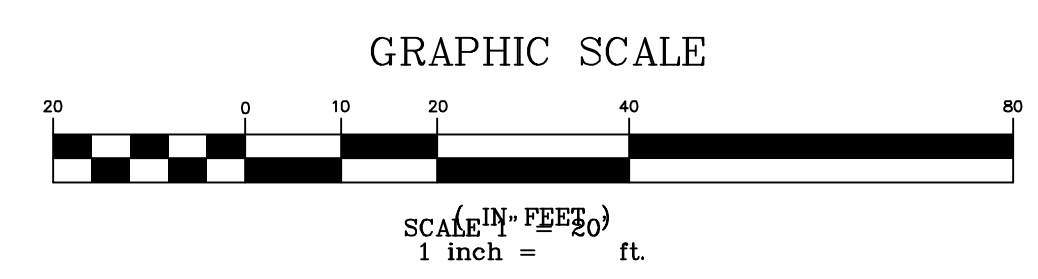
Test pits 1-3 Logged on 3/26/2024, Test pits 4-9 & D1-D3  
9/10/2025 By Joseph Nichols Designer # 1451 Witnessed by Mike  
Cuomo Rockingham County Conservation District

Test Pit # 2  
0" - 5" 10YR 3/3 Dark Brown, Fine Sandy Loam, Granular, Friable  
5" - 36" 10YR 5/4 Yellowish Brown,  
Gravelly, Fine Sandy Loam Granular, Friable  
36" - 55" 2.5Y 5/3 Light Olive Brown,  
Gravelly, Fine Loamy Sand Massive, Firm W/ Redox

ESHWT = 36 Inches  
Observed Ground Water - None Restrictive @ 36 Inches  
Refusal - None, Perc Rate = 6 min/inch @ 20"

Test Pit # 9  
0" - 8" 10YR 3/3 Dark Brown, Fine Sandy Loam, Granular, Friable  
8" - 22" 10YR 5/6 Yellowish Brown,  
Fine Sandy Loam Granular, Friable  
22" - 33" 10YR 5/4 Light Yellowish Brown,  
Gravelly, Loamy Sand Massive, Friable  
33" - 53" 2.5Y 5/3 Light Yellowish Brown,  
Gravelly, Loamy Sand Massive, Friable W/ Redox

ESHWT = 33 Inches  
Observed Ground Water - None Restrictive - None  
Refusal - None, Perc Rate = 6 min/inch @ 28"



**OWNER OF RECORD**  
RED BARN PROPERTY LLC  
BRENDAN SHEEHAN  
8 SHORE DRIVE  
GREENLAND, NH 03840  
RCRD BOOK 6543, PAGE 1271

**DESIGNER STAMP**  
NEW HAMPSHIRE  
Designer of  
Subsurface Disposal  
Systems  
\*\*\*  
Christian O. Smith  
No. 1543  
Department of Environmental Services

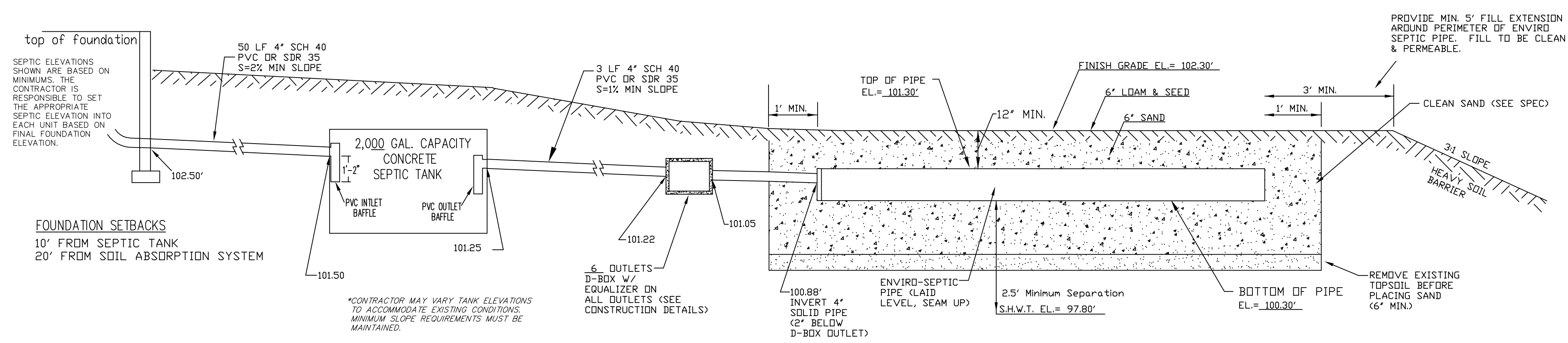
**BA BEALS ASSOCIATES, PLLC**  
70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,

REVISIONS: DATE:

**EFFLUENT DISPOSAL PLAN - FIELD #1**

PLAN FOR:  
RESIDENTIAL DEVELOPMENT  
210 PORTSMOUTH AVE  
STRATHAM, NH

DATE: MAR 11, 2026 SCALE: 1" = 20'  
PROJ. NO: NH-1566 SHEET NO. S-2

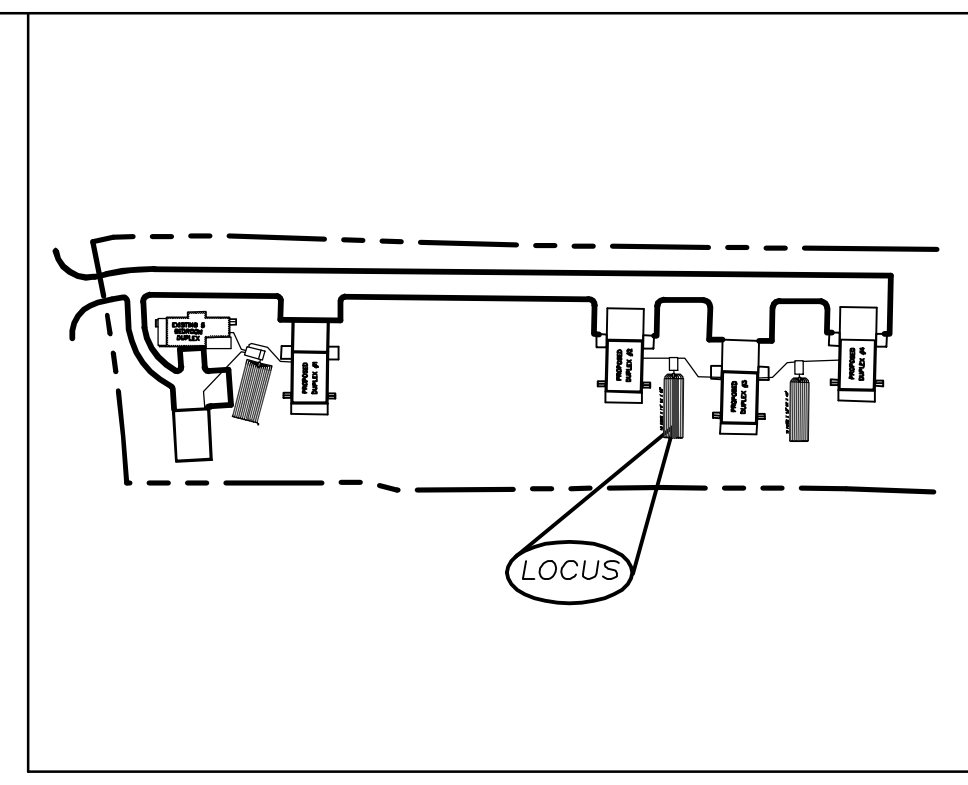


**ENVIRO-SEPTIC DESIGN CALCULATIONS**

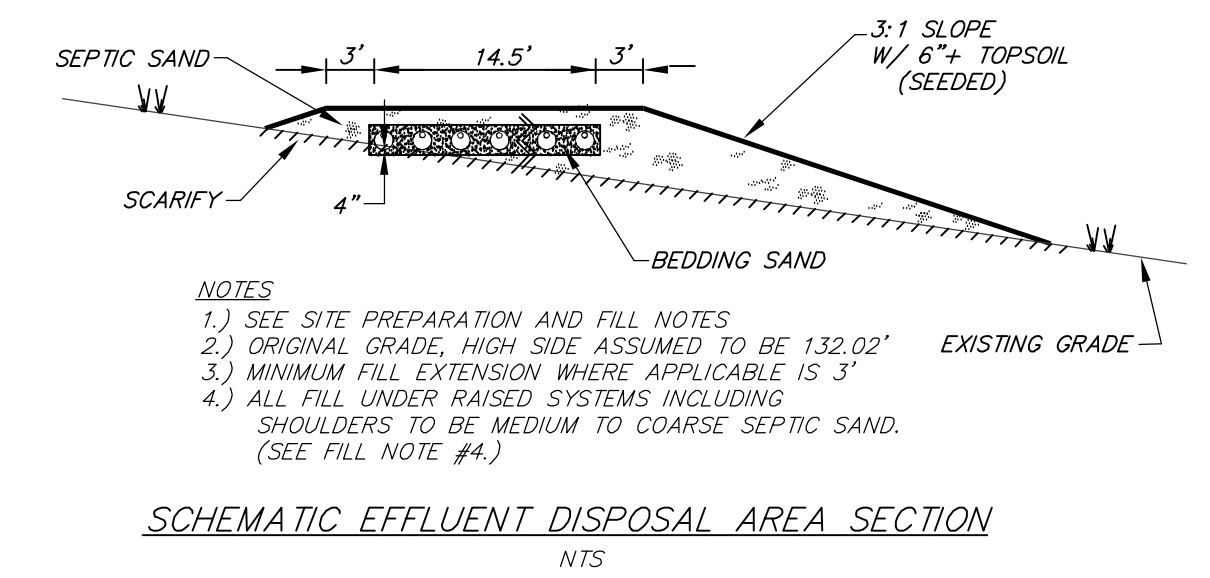
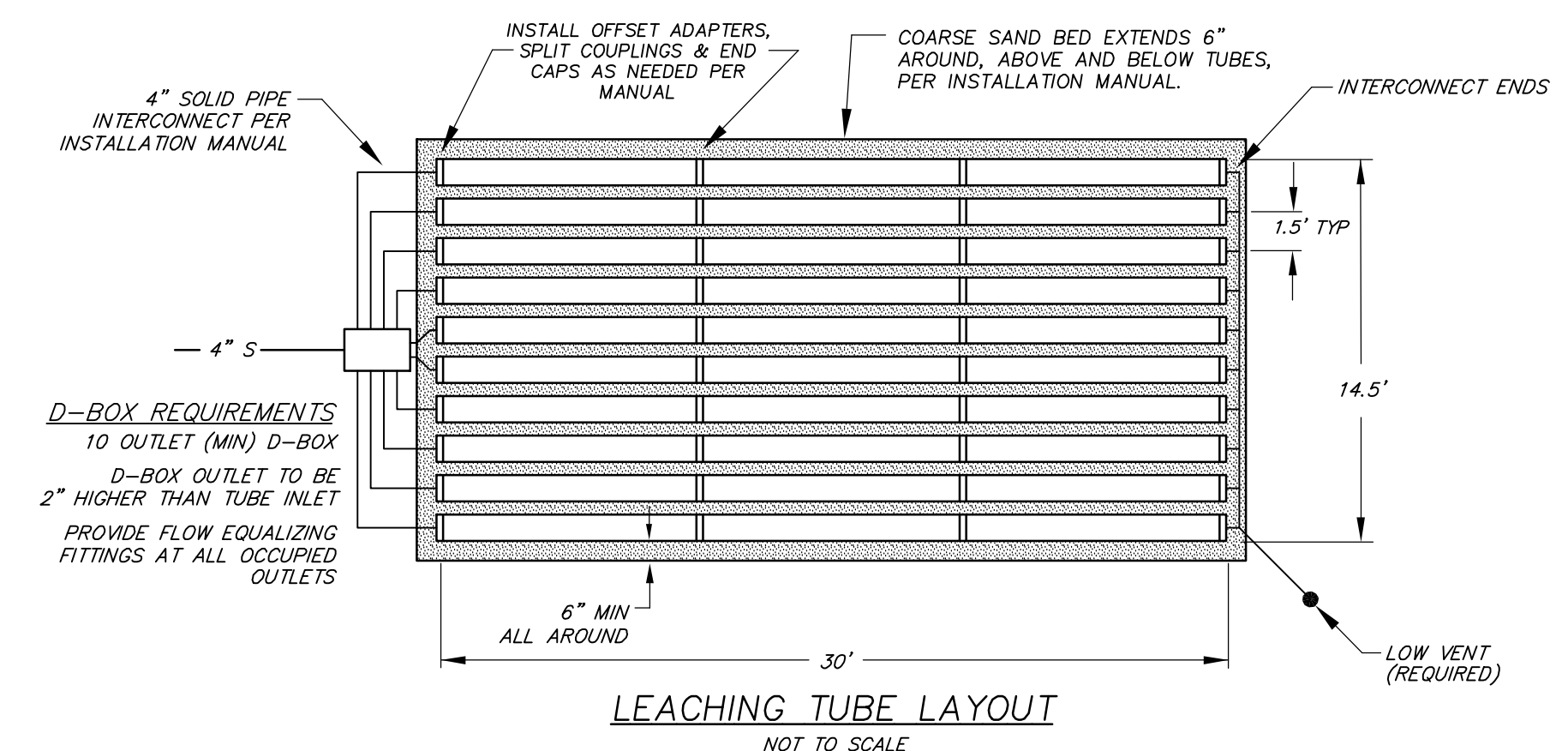
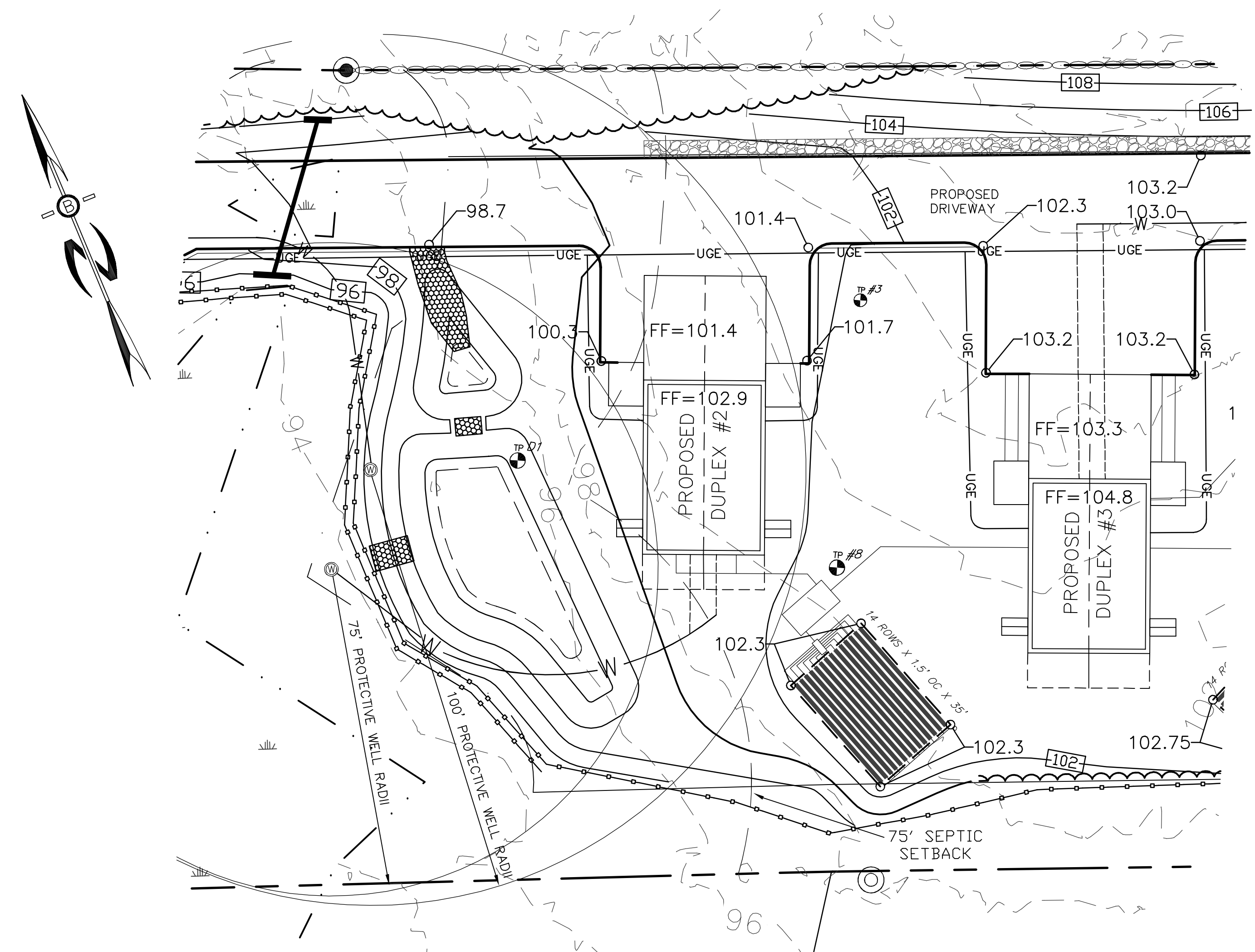
**PROPOSED LOADING:**  
 2 2-BR DUPLEX (#2) & 1 2-BR DUPLEX (#3) =  
 3 2-BR UNITS X 300 GPD PER UNIT = 900 GPD

**DESIGN PERC RATE = 1-40 MIN/IN**

**PER PRESBY MANUAL: 420 LF REQUIRED**  
**450 LF PROVIDED: 10 ROWS @ 1.5' O.C. X 45' PER ROW**



**DISPOSAL SYSTEM PROFILE (FIELD #2)**  
 N.T.S.



**TEST PIT LOGS**

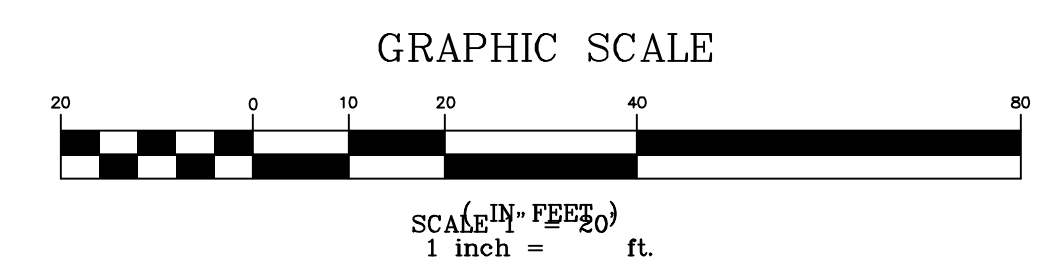
Test pits 1-3 Logged on 3/26/2024, Test pits 4-9 & D1-D3  
 9/10/2025 By Joseph Nichols Designer # 1451, Witnessed by Mike  
 Cuono Rockingham County Conservation District

**Test Pit # 3**  
 0" - 5" 10YR 3/3 Dark Brown, Fine Sandy Loam, Granular, Friable  
 5" - 25" 10YR 5/4 Yellowish Brown,  
 Fine Sandy Loam Granular, Friable  
 25"-56" 2.5Y 5/3 Light Olive Brown,  
 Fine Loamy Sand Massive, Firm W/ Redox

ESHWT = 25 Inches  
 Observed Ground Water - None Restrictive @ 25 Inches  
 Refusal - None, Perc Rate = 8 min/inch @ 20"

**Test Pit # 8**  
 0" - 8" 10YR 3/3 Dark Brown, Fine Sandy Loam, Granular, Friable  
 8"-20" 2.5Y 6/4 Light Yellowish Brown,  
 Fine Sand Massive, Friable  
 20"-30" 10YR 5/4 Light Yellowish Brown,  
 Gravelly, Loamy Sand Massive, Friable  
 30"-60" 2.5Y 6/3 Light Yellowish Brown,  
 Gravelly, Fine Sand Massive, Firm W/ Redox

ESHWT = 30 Inches  
 Observed Ground Water - None Restrictive @ 30 Inches  
 Refusal - None, Perc Rate = 6 min/inch @ 28"

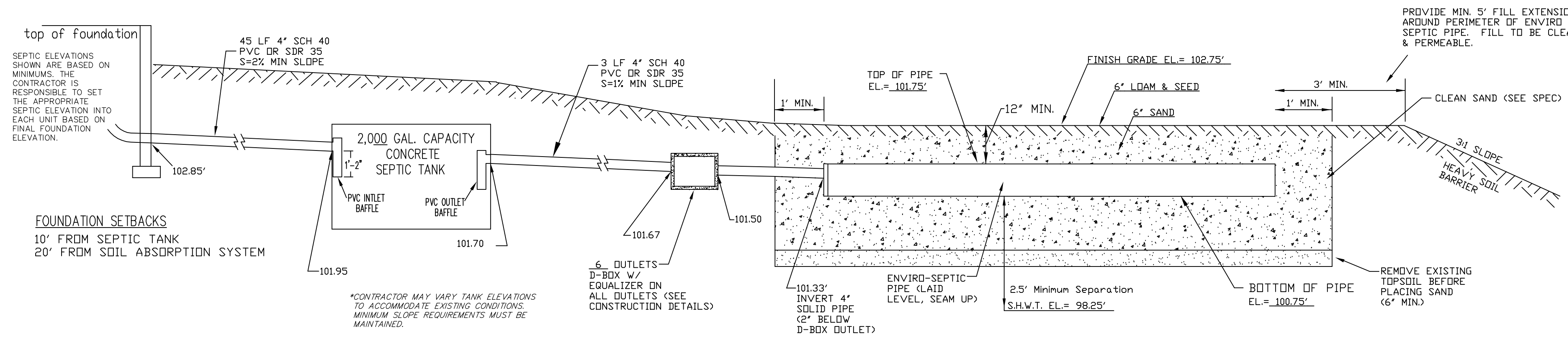


**OWNER OF RECORD**  
 RED BARN PROPERTY LLC  
 BRENDAN SHEEHAN  
 6 SHORE DRIVE  
 GREENLAND, NH 03840  
 RCRD BOOK 6543, PAGE 1271

**BA BEALS ASSOCIATES, PLLC**  
 70 PORTSMOUTH AVE,  
 THIRD FLOOR, SUITE 2  
 STRATHAM, N.H. 03885  
 PHONE: 603-583-4860.

DESIGNER STAMP  
 NEW HAMPSHIRE  
 Designer  
 of  
 Subsurface Disposal  
 Systems  
 Christian O. Smith  
 No. 1543  
 Department of Environmental Services

REVISIONS:	DATE:
<b>EFFLUENT DISPOSAL PLAN - FIELD #2</b>	
PLAN FOR: <b>PLAN FOR:          RESIDENTIAL DEVELOPMENT          210 PORTSMOUTH AVE          STRATHAM, NH</b>	
DATE: MAR 11, 2026	SCALE: 1" = 20'
PROJ. NO: NH-1566	SHEET NO. S-3



**DESIGN INTENT:**  
THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM SHALL BE CONSTRUCTED AT EL. 131.87'  
THIS IS APPROXIMATELY 4" BELOW THE ORIGINAL GROUND ON THE HIGH CONTOUR OF THE EFFLUENT DISPOSAL SYSTEM, EL. 132.2'

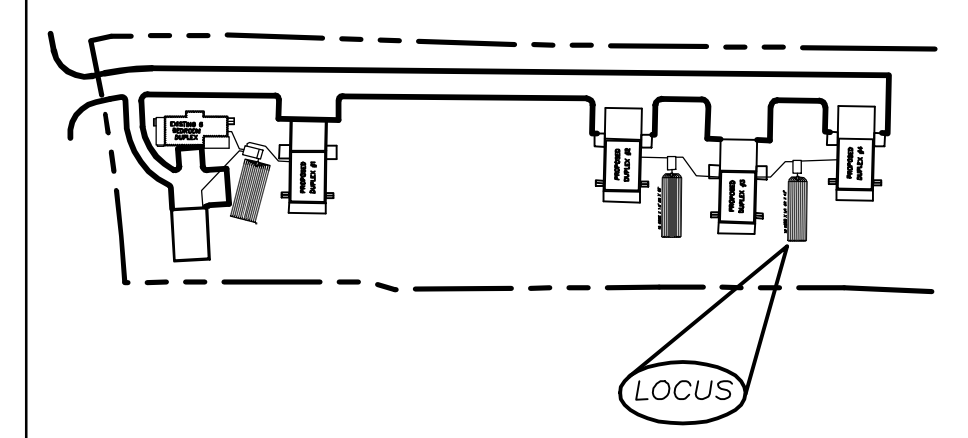
**DIMENSIONS - EFFLUENT DISPOSAL AREA:**  
WIDTH = 14.5'  
LENGTH = 30.0'  
DIAGONAL = 33.3'

**DESIGN NOTES**

SEPTIC TANK:  
REQUIRED: 900 GAL x 2 (PUMPING) = 1,800 GAL  
PROVIDED: 2,000 GAL

NEAREST ABUTTING WELL: 75'+  
NEAREST SURFACE WATER: 75'+  
NEAREST POORLY DRAINED WETLAND: 50'+  
NEAREST VERY POORLY DRAINED WETLAND: 75'+

USSCS SOIL CLASSIFICATION:  
350C UDIPSAMMENTS  
SITE SPECIFIC SOIL SURVEY  
BENCH MARKS: AS SHOWN

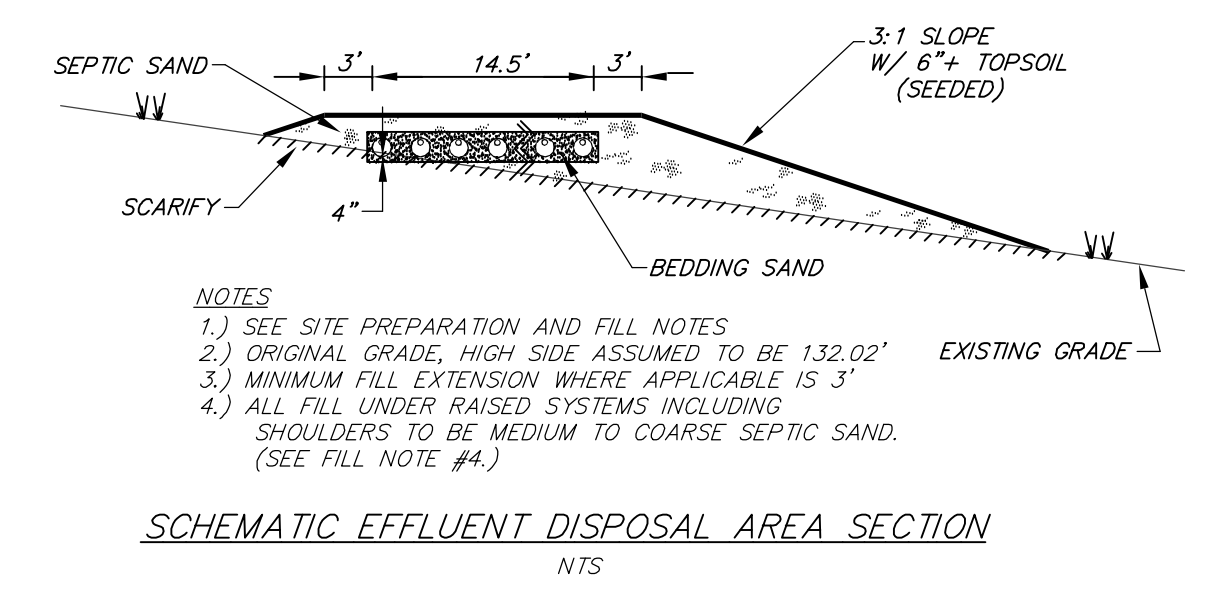
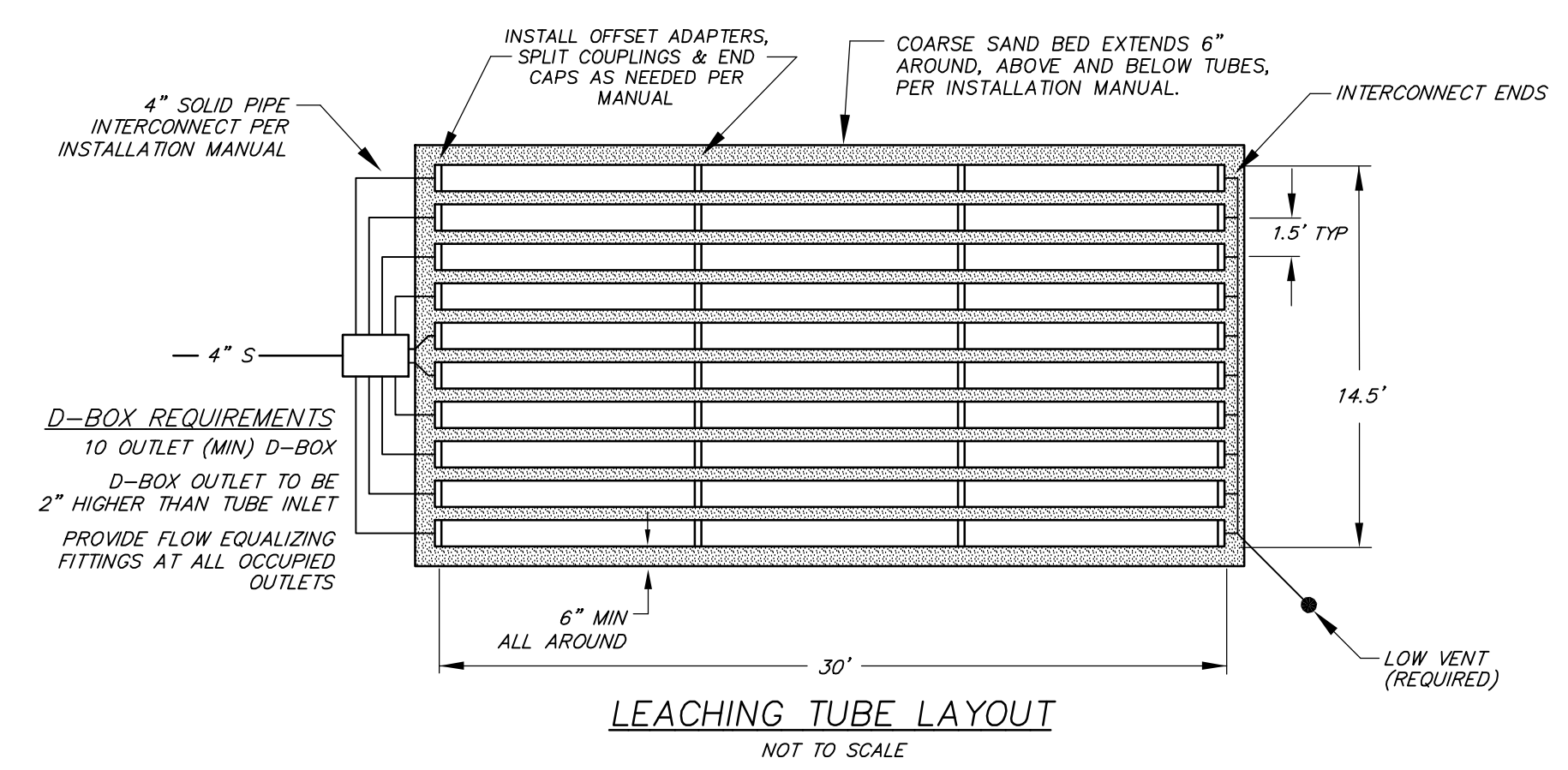
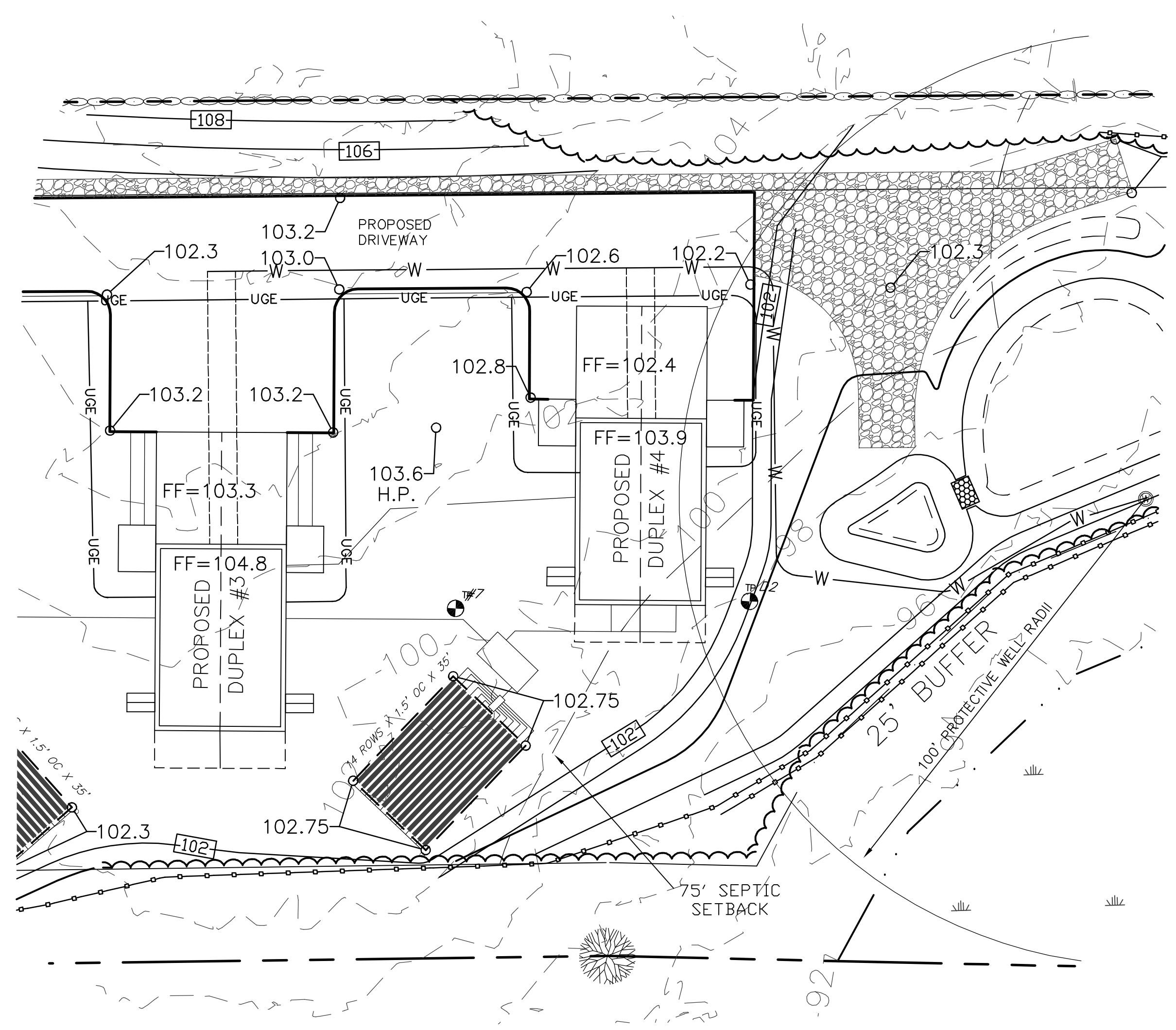


**ENVIRO-SEPTIC DESIGN CALCULATIONS**

PROPOSED LOADING:  
2 2-BR DUPLEX (#2) & 1 2-BR DUPLEX (#3) =  
3 2-BR UNITS X 300 GPD PER UNIT = 900 GPD

DESIGN PERC RATE = 1-40 MIN/IN

PER PRESBY MANUAL: 420 LF REQUIRED  
450 LF PROVIDED: 10 ROWS @ 1.5' O.C. X 45' PER ROW



**TEST PIT LOGS**

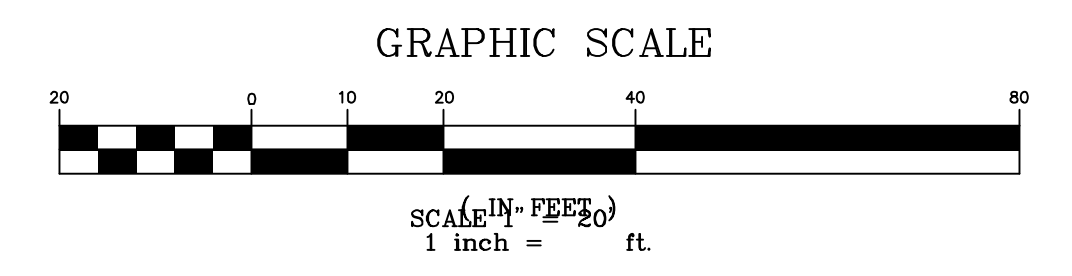
Test pits 1-3 Logged on 3/26/2024, Test pits 4-9 & D1-D3 9/10/2025 By Joseph Nichols Designer # 1451 Witnessed by Mike Cuono Rockingham County Conservation District

Test Pit # 7  
0" - 4" 10YR 3/3 Dark Brown, Fine Sandy Loam, Granular, Friable  
4" - 8" 10YR 5/4 Yellowish Brown, Fine Sand Massive, Friable  
8" - 27" 2.5Y 6/4 Light Yellowish Brown, Fine Sand Massive, Friable  
27"-61" 2.5Y 6/3 Light Yellowish Brown, Fine Sand Blocky, Friable W/ Redox

ESHWT = 27 Inches  
Observed Ground Water - None Restrictive - None  
Refusal - None, Perc Rate = 6 min/inch @ 24"

Test Pit # D2  
0" - 12" 10YR 3/3 Dark Brown, Fine Sandy Loam, Granular, Friable  
12"-18" 10YR 6/4 Light Yellowish Brown, Fine Sand Massive, Friable  
18"-30" 2.5Y 7/4 Pale Yellow, Fine Sand Massive, Friable  
30"-60" 2.5Y 6/3 Light Yellowish Brown, Fine Sand Blocky, Friable W/ Redox

ESHWT = 30 Inches  
Observed Ground Water - None Restrictive - None  
Refusal - None, Perc Rate = 6 min/inch @ 20"



**OWNER OF RECORD**  
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PHONE: 603-583-4860,

**DESIGNER STAMP**  
NEW HAMPSHIRE  
Designer of Subsurface Disposal Systems  
Christian O. Smith  
No. 1543  
Department of Environmental Services

REVISIONS:	DATE:
<b>EFFLUENT DISPOSAL PLAN - FIELD #3</b>	
PLAN FOR: RESIDENTIAL DEVELOPMENT 210 PORTSMOUTH AVE STRATHAM, NH	
DATE: MAR 11, 2026	SCALE: 1" = 20'
PROJ. NO: NH-1566	SHEET NO. S-4